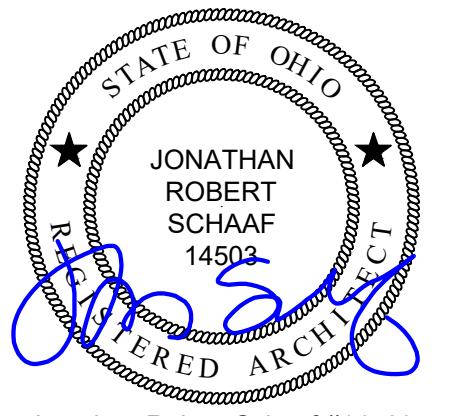


# Site Demolition Project at: Hilltop Homes - Phase 1

631 Groveland Avenue  
Dayton, Ohio 45417

Greater Dayton Premier Management



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing. © RDA 2024



**OWNER**



Greater Dayton  
Premier Management

**DESIGN TEAM**

**ARCHITECT:**



**CIVIL ENGINEER**



**SHEET INDEX**

G1.1	PROJECT TITLE SHEET
G1.2	EXISTING / DEMOLITION ARCHITECTURAL SITE PLAN
G1.3	PROPOSED ARCHITECTURAL SITE PLAN
C-0.0	TITLE SHEET
C-0.1	NOTES
C-1.0	EAST EXISTING CONDITIONS PLAN
C-1.1	NORTH EXISTING CONDITIONS PLAN
C-1.2	CENTRAL EXISTING CONDITIONS PLAN
C-1.3	WEST EXISTING CONDITIONS PLAN
C-2.0	EAST DEMOLITION PLAN
C-2.1	NORTH DEMOLITION PLAN
C-2.2	CENTRAL DEMOLITION PLAN
C-2.3	WEST DEMOLITION PLAN
C-3.0	EAST SITE, GRADING & E&SC PLAN
C-3.1	NORTH SITE, GRADING & E&SC PLAN
C-3.2	CENTRAL SITE, GRADING & E&SC PLAN
C-3.3	WEST SITE, GRADING & E&SC PLAN
C-4.0	E&SC NOTES & DETAILS
C-4.1	DETAILS

**ABBREVIATIONS**

°	DEGREES	FD	FLOOR DRAIN FOUNDATION	R / RAD	RADIUS
±	PLUS OR MINUS	FDN	FOUNDATION	RA	RETURN AIR
≠	NOT EQUAL	FE	FIRE EXTINGUISHER	RB	RUBBER BASE
∅	DIAMETER	FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
∠	ANGLE	FF	FINISH FLOOR	REF	REFRIGERATOR
ℓ	CENTERLINE	FIN	FINISH / FINISHED	REINF	REINFORCE
⌵	PROPERTY LINE	FRT	FIRE RETARDANT TREATED	REQD	REQUIRED
		FSE	FOOD SERVICE EQUIPMENT	REQMT	REQUIREMENT(S)
ABV	ABOVE	FTG	FOOTING	REV	REVISION
ADA	ACCESSIBLE / HANDICAP ACCESSIBLE / ACCESSIBILITY - ANSI ICC-117.1-2009	FV	FIELD VERIFY	RO	ROUGH OPENING
				R/W	RIGHT OF WAY
GA	GALVE	GA	GALVE	SALV	SALVAGED
ALF	ALTERNATE	GC	GENERAL CONTRACTOR	SF	SQUARE FEET
ALUM	ALUMINUM	GYP	GYP	SM	SHEET METAL
APPROX	APPROXIMATE	GYP BD	GYP BOARD	SPEC	SPECIFICATION
ATC	ACOUSTIC TILE CEILING	HB	HOSE BIBB	SQ	SQUARE
BET/BETWN	BETWEEN	HM	HOLLOW METAL	SS	STAINLESS STEEL
BLKG	BLOCKING	HOR	HORIZONTAL	STD	STANDARD
BRG	BEARING	HT	HEIGHT	STL	STEEL
BSMT	BASEMENT	HVAC	HEATING, VENTILATION, AIR CONDITIONING	T	TEMPERED
BTM	BOTTOM	INT	INTERIOR	T&B	TO BE DETERMINED TOP AND BOTTOM
CIP	CAST IN PLACE	JB	JUNCTION BOX	T&G	TONGUE AND GROOVE
CJ	CONTROL JOINT	LL	LIVE LOAD	T.O.	TOP OF
CL	CENTERLINE	LLH	LONG LEG HORIZONTAL	TR	TREATED
CLG	CEILING	LLV	LONG LEG VERTICAL	TR	TYPICAL
CLR	CLEAR	LTL	LINTEL	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	UNO	UNLESS NOTED OTHERWISE
COL	COLUMN	MECH	MECHANICAL	UL	UNDERWRITER'S LABORATORY
CONC	CONCRETE	MFR	MANUFACTURER	VB	VAPOR BARRIER
CONT	CONTINUOUS	MIN	MINIMUM	VERT	VERTICAL
CPT	CARPET	MISC	MISCELLANEOUS	W/	WITH
CT	CERAMIC TILE	MO	MASONRY OPENING	W/O	WITHOUT
DEMO	DEMOLISH / DEMOLITION	MS	METAL STUD	WD	WOOD
DF	DRINKING FOUNTAIN	MTD	MOUNTED	W.P.	WORK POINT
DIA	DIAMETER	MTL	METAL	WRB	WEATHER RESISTIVE BARRIER
DIM	DIMENSION	NIC	NOT IN CONTRACT	WWF	WELDED WIRE FABRIC
DIV	DIVISION	NOM	NOMINAL		
DP	DEEP	NTS	NOT TO SCALE		
DS	DOWNSPOUT	OC	ON CENTER		
DTL	DETAIL	OH	OVERHEAD		
DW	DISHWASHER	OPG	OPENING		
DWG	DRAWING	OPP	OPPOSITE		
EA	EACH	PEMB	PRE-ENGINEERED METAL BUILDING		
EERO	EMERGENCY ESCAPE & RESCUE OPENING	PL	PLATE / PROPERTY LINE		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	PTD	PAINTED		
EJ	EXPANSION JOINT	QT	QUARRY TILE		
ELEC	ELECTRIC / ELECTRICAL	QTY	QUANTITY		
ELEV	ELEVATION / ELEVATOR				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EX	EXISTING				
EXP	EXPANSION				

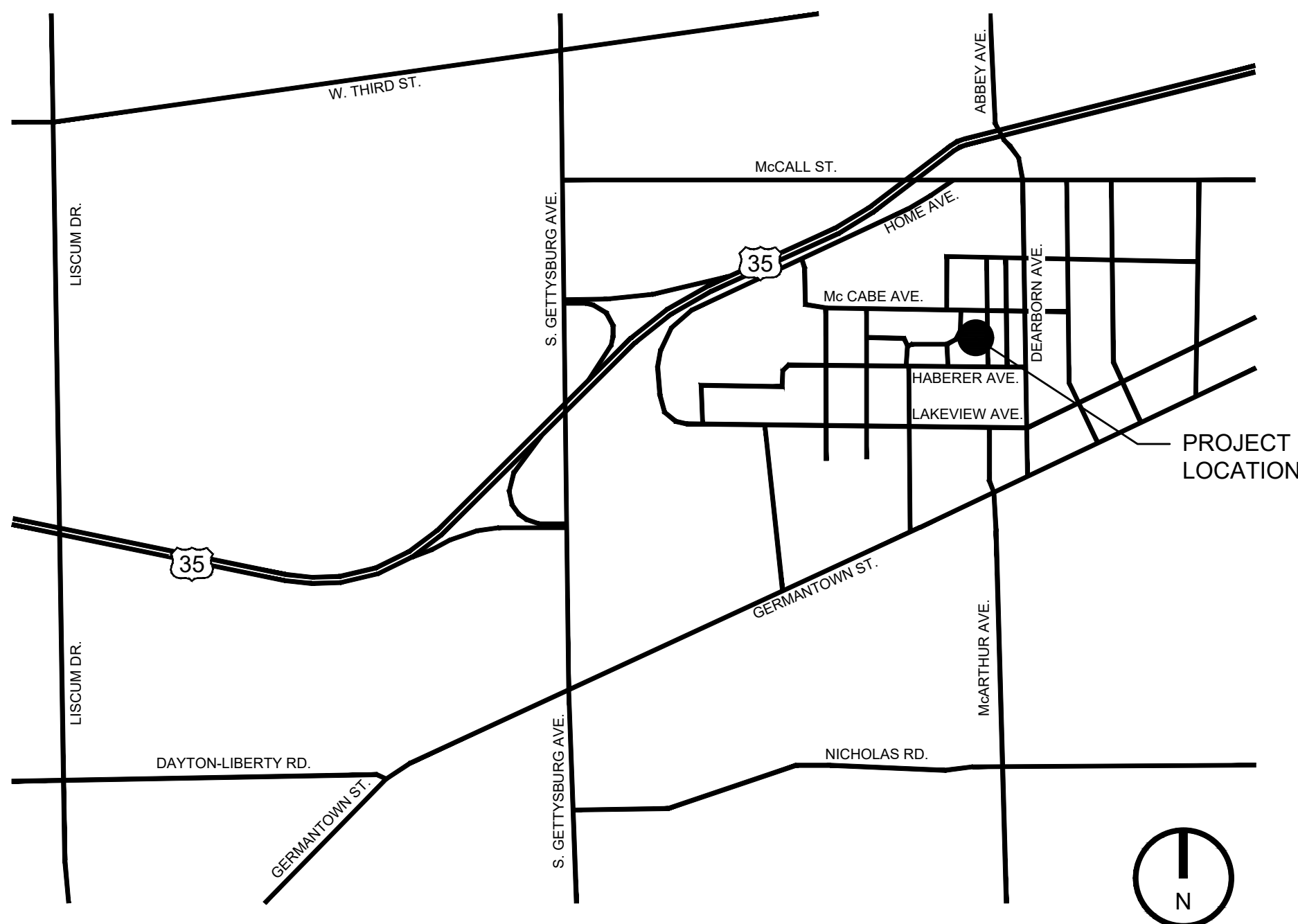
**RDA CONTRACT ADMINISTRATION**

- RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. CONTRACTOR AND CLIENT / OWNER ARE RESPONSIBLE TO COORDINATE THE PROPOSED WORK, SCHEDULES, INSTALLATIONS, PERMITS, INSPECTIONS, ETC.
- CONTACT ARCHITECT FOR CLARIFICATION SHOULD THERE BE QUESTIONS REGARDING THE INTERPRETATION OR INTENT OF THE DOCUMENTS, FIELD DISCOVERY, ETC. THAT WOULD IMPACT OR AFFECT THE WORK AS PROPOSED. RDA IS NOT BE LIABLE FOR DEVIATIONS, FIELD CHANGES, AND CLIENT / OWNER CHANGES DURING CONSTRUCTION.
- FIELD CONFIRM ALL EXISTING CONDITIONS, PROPOSED INSTALLATIONS AND HOW THEY INTERFACE TO ENSURE THE SYSTEMS CAN BE INSTALLED PER THE INTENT OF THE DOCUMENTS AND TO MEET APPLICABLE BUILDING AND ZONING CODES, LOCAL REQUIREMENTS, CLIENT / OWNER REQUIREMENTS, ETC.
- MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS WHETHER SPECIFICALLY NOTED HEREIN OR NOT. BUILDING CODES REPRESENT THE MINIMUM ACCEPTABLE STANDARD.
- INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS, APPLICABLE MANUFACTURER'S DETAILS AND INSTRUCTIONS, IN ACCORDANCE WITH BEST PRACTICES, AND BUILDING CODE PROVISIONS.

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN 'INSTRUCTION MANUAL' TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

**VICINITY MAP**



Site Demolition Project at:  
**Hilltop Homes  
Phase 1**  
631 Groveland Avenue  
Dayton, Ohio 45417  
Greater Dayton Premier Management

Project Number		2024-014
Date		May 31, 2024
Date	Issue	
05.15.24	Review Set	
05.31.24	Bid / Construction Set	
Sheet Title		Project Title Sheet
Sheet Number		G1.1





Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing. © RDA 2024



Site Demolition Project at:  
**Hilltop Homes Phase 1**  
631 Groveland Avenue  
Dayton, Ohio 45417  
Greater Dayton Premier Management

Project Number  
2024-014

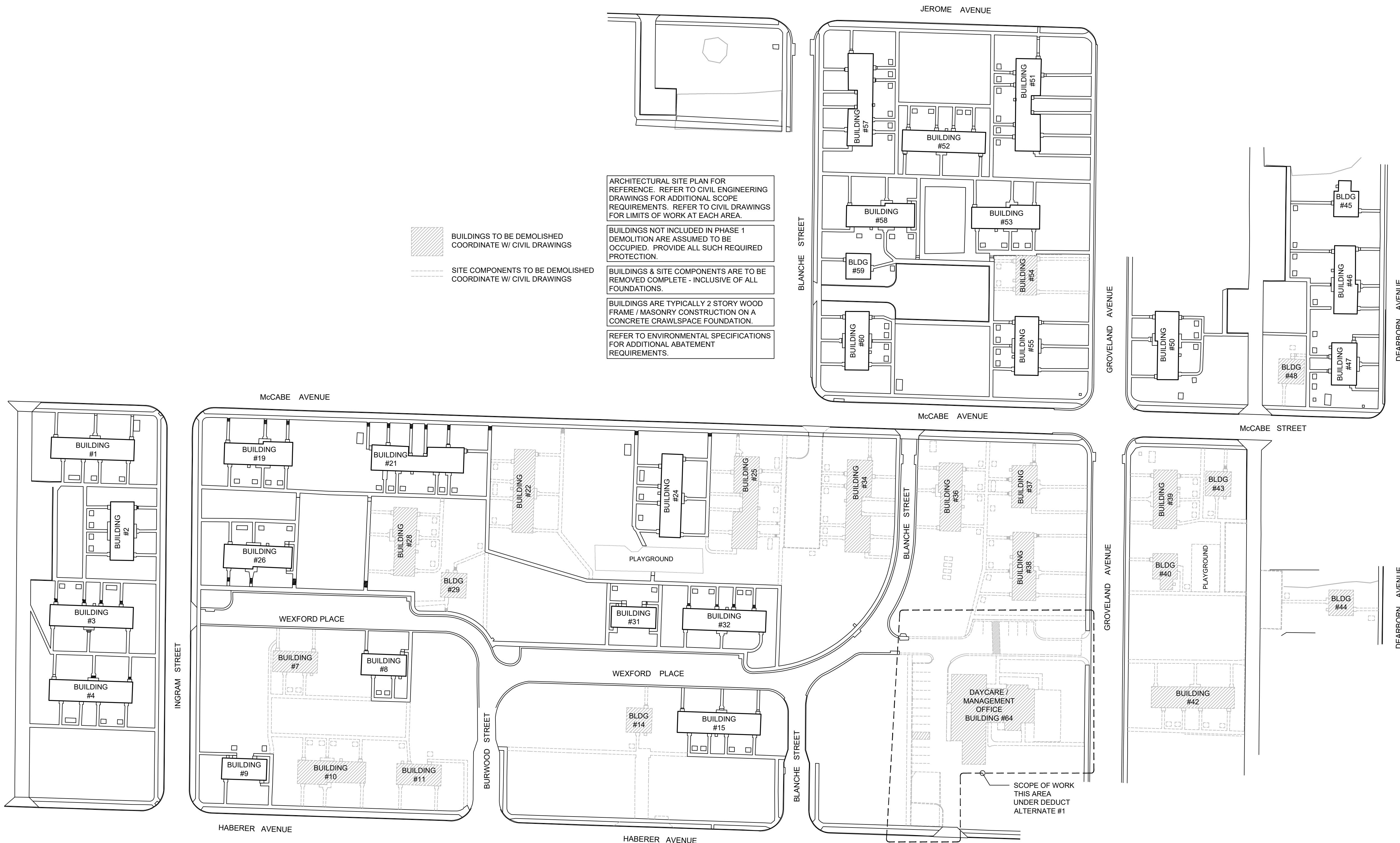
Date  
May 31, 2024

Date Issue  
05.15.24 Review Set  
05.31.24 Bid / Construction Set

Sheet Title  
Existing / Demolition  
Architectural Site Plan

Sheet Number

G1.2



ARCHITECTURAL SITE PLAN FOR REFERENCE. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL SCOPE REQUIREMENTS. REFER TO CIVIL DRAWINGS FOR LIMITS OF WORK AT EACH AREA.

BUILDINGS NOT INCLUDED IN PHASE 1 DEMOLITION ARE ASSUMED TO BE OCCUPIED. PROVIDE ALL SUCH REQUIRED PROTECTION.

BUILDINGS & SITE COMPONENTS ARE TO BE REMOVED COMPLETE - INCLUSIVE OF ALL FOUNDATIONS.

BUILDINGS ARE TYPICALLY 2 STORY WOOD FRAME / MASONRY CONSTRUCTION ON A CONCRETE CRAWLSPACE FOUNDATION.

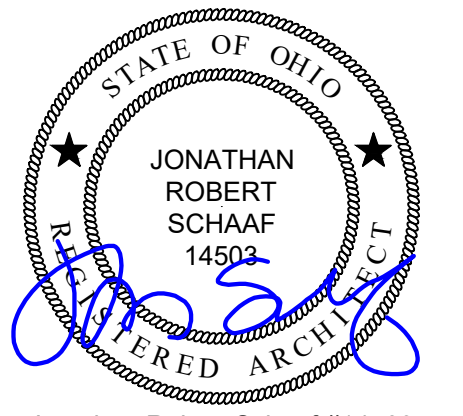
REFER TO ENVIRONMENTAL SPECIFICATIONS FOR ADDITIONAL ABATEMENT REQUIREMENTS.

- BUILDINGS TO BE DEMOLISHED COORDINATE W/ CIVIL DRAWINGS
- SITE COMPONENTS TO BE DEMOLISHED COORDINATE W/ CIVIL DRAWINGS

**A** EXISTING / DEMOLITION ARCHITECTURAL SITE PLAN

SCALE: 1" = 60'-0"

0 30 60 120



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing. © RDA 2024



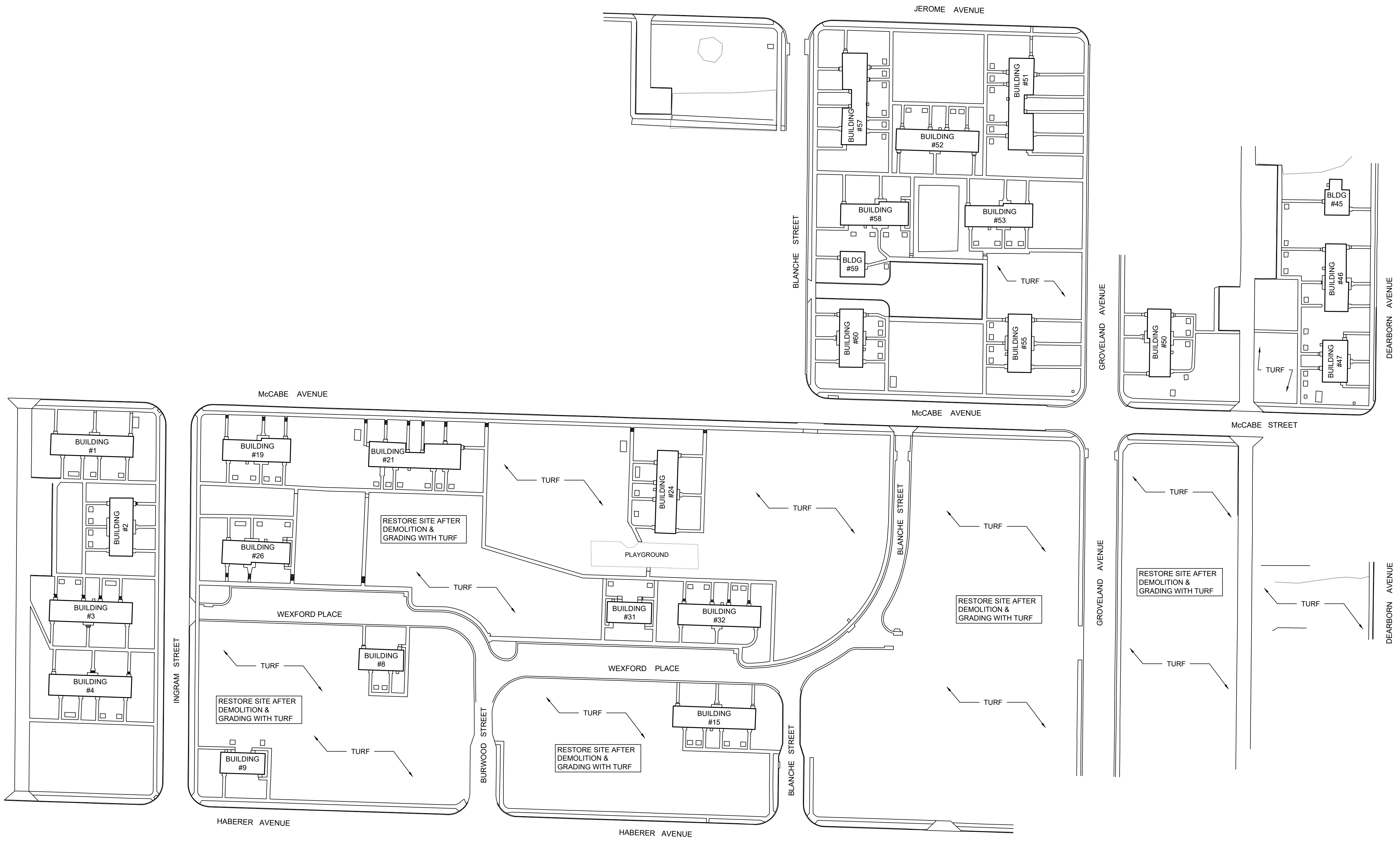
Site Demolition Project at:  
**Hilltop Homes Phase 1**  
631 Groveland Avenue  
Dayton, Ohio 45417  
Greater Dayton Premier Management

Project Number	2024-014
Date	May 31, 2024
Date	Issue
05.15.24	Review Set
05.31.24	Bid / Construction Set

Sheet Title  
Proposed Architectural Site Plan

Sheet Number

**G1.3**



**PROPOSED ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 60'-0" 0 30 60 120































































