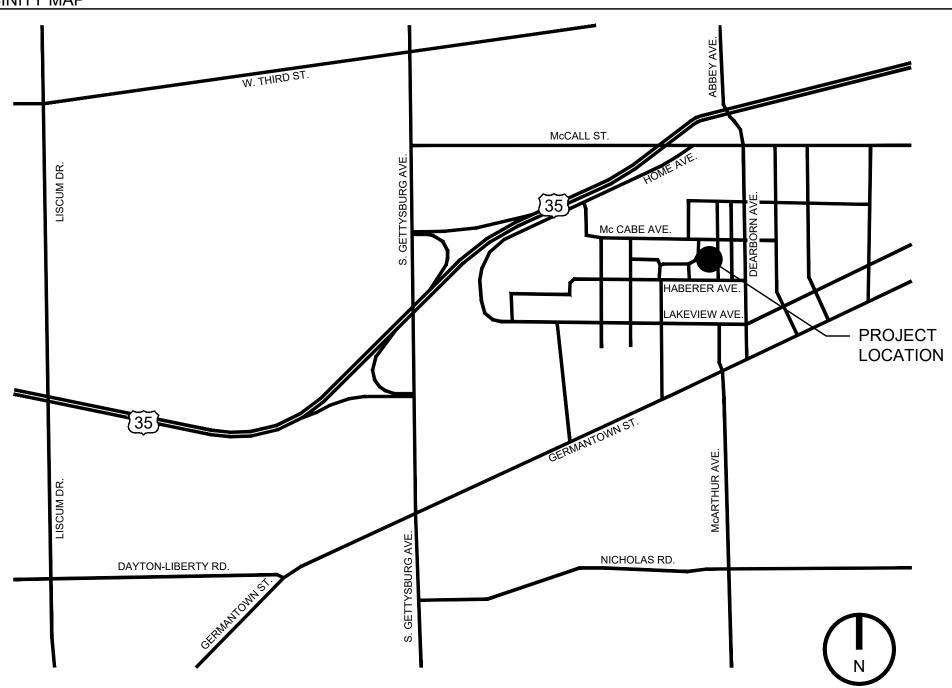




CIVIL ENGINEER



VICINITY MAP



Site Demolition Project at:

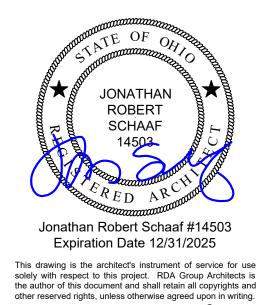
Hilltop Homes - Phase 1

631 Groveland Avenue Dayton, Ohio 45417

Greater Dayton Premier Management

ABBREVIATIONS

PEGREESFDFLOOR DRAINR / RADRADIUSPLUS OR MINUSFDNFOUNDATIONRARETURN AIRNOT EQUALFEFIRE EXTINGUISHERRBRUBBER BASEDIAMETERFECFIRE EXTINGUISHER CABINETRDROOF DRAINANGLEFFFINISH FLOORREFREF/REFRIGERATORCENTERLINEFINFINISH FLOORREINFREINFORCEPROPERTY LINEFRTFIRE RETARDANT TREATEDREQ'DREQUIREDBVABOVEFGFOOTINGREVREV/REVISIONDAACCESSIBLE / HANDICAPFVFIELD VERIFYROROUGH OPENINGACCESSIBLY / ACCESSIBILITY-RADIUSGAGAUVAREGAUVAREDSALVA SALVAGEDFFABOVE FINISH FLOORGAGAUVANIZEDSALVSALVAGEDSALVAGEDLIMALUMINUMGYPGYPSUMSIMSIMILARSIMILARPPROXAPPOXIMATEGYP BDGYPSUM BOARDSMSHEET METALCCOUSTIC TILE CEILINGHBHOSE BIBBSQSQUARESCET/BETWN. BETWEENHMHOLLOW METALSSSTAINLESS STEEL	
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RG BEARING HT HEIGHT STL STEL SMT BASEMENT HVAC HEATING, VENTILATION, AIR TEMPERED TM BOTTOM T TEMPERED IP CAST IN PLACE INT INTERIOR T& TO BE DETERMINED	THE PLANS AND SPECIFICATIONS ARE INTENDED TO SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP RE
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May	31, 2024							
Date	Issue							
05.15.24	Review Set							
05.31.24	Bid / Construction Set							
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Sheet Number

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RDA CONTRACT ADMINISTRATION

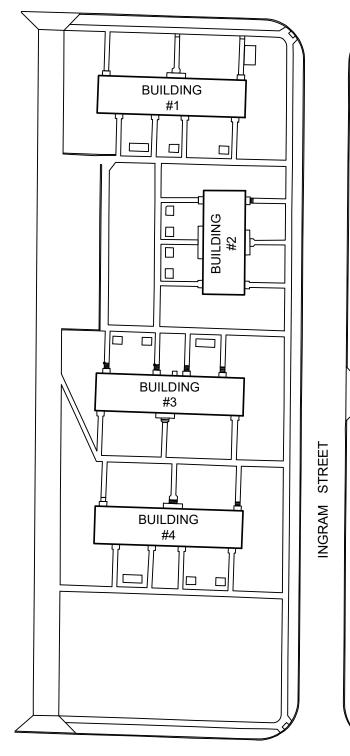
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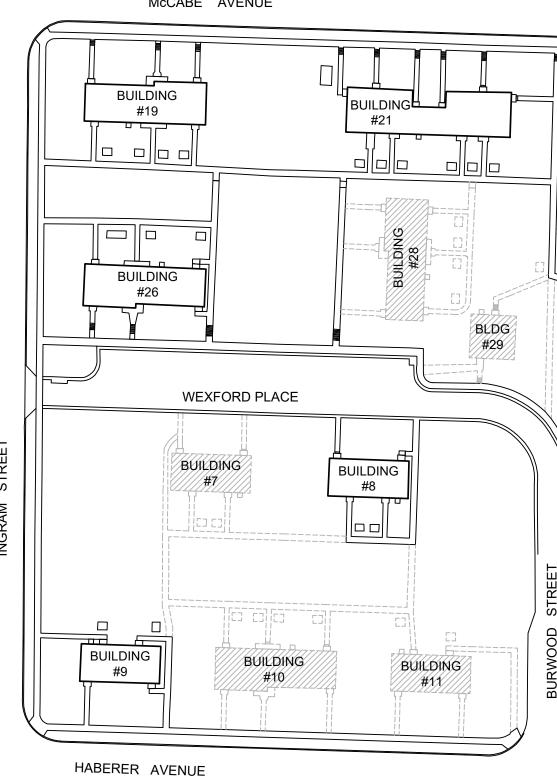
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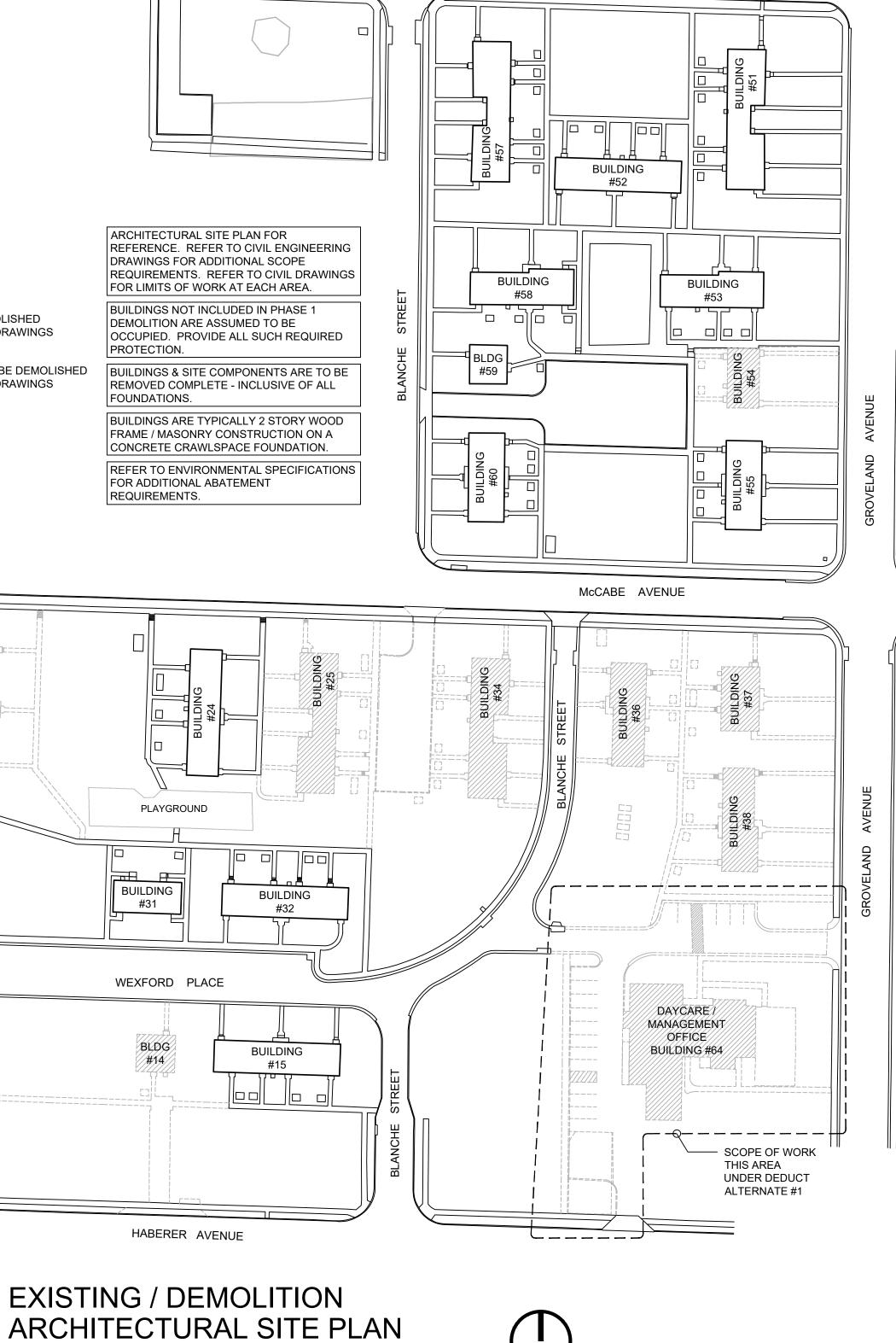
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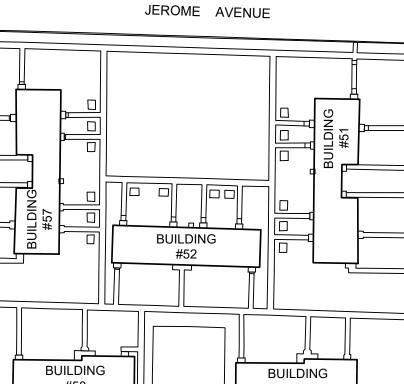
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BUILDINGS TO BE DEMOLISHED COORDINATE W/ CIVIL DRAWINGS

SITE COMPONENTS TO BE DEMOLISHED COORDINATE W/ CIVIL DRAWINGS

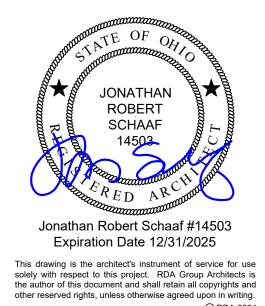
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SCALE: 1" = 60'-0"



====[////// HLDING #39 BLDG #40

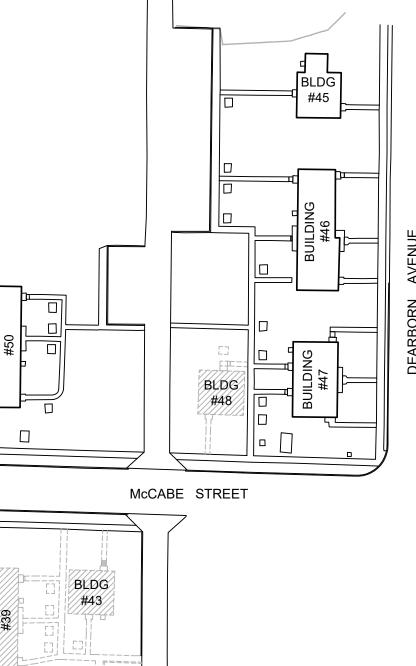
BUILDING #42

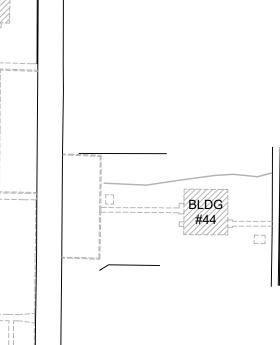


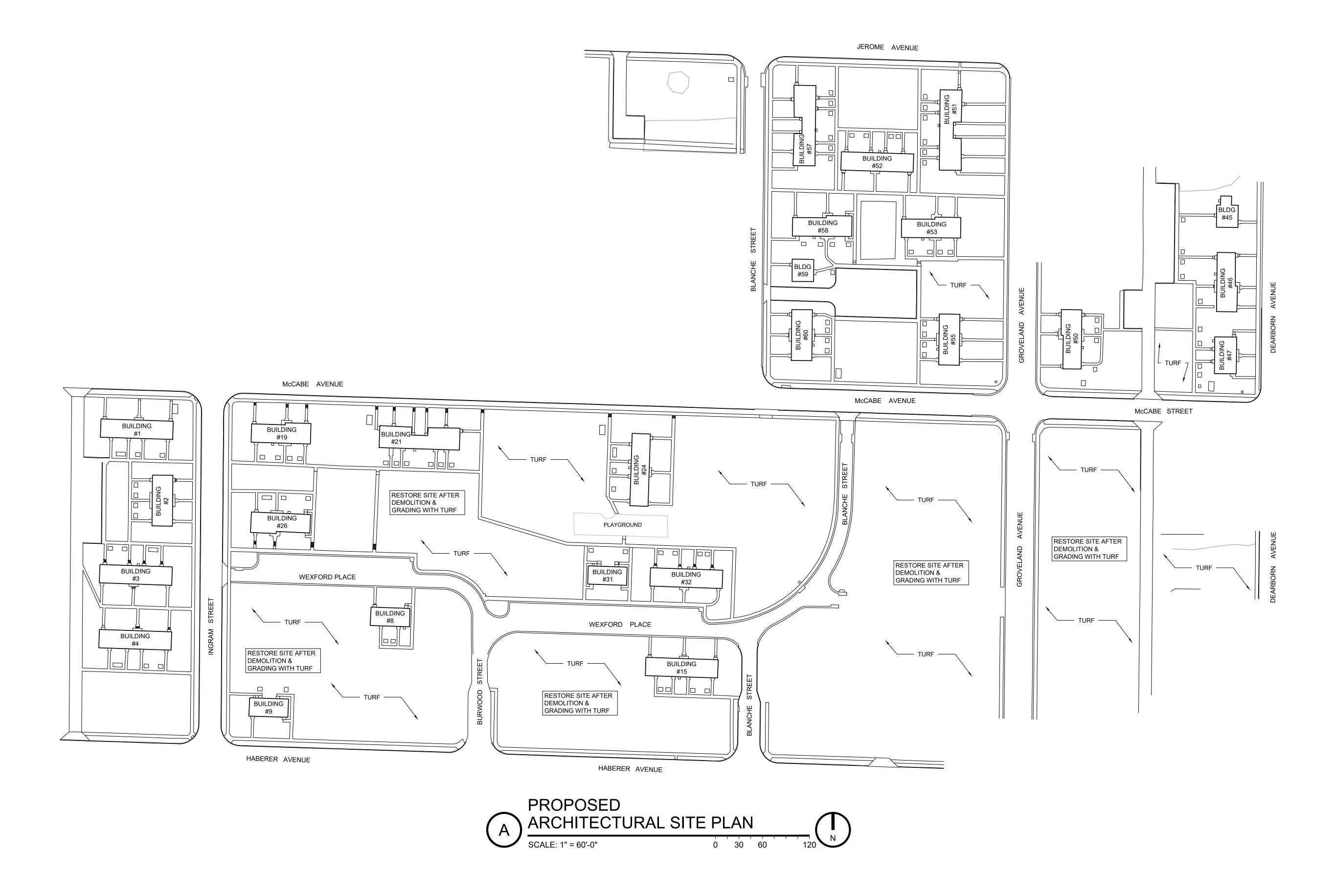




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SITE DEMOLITION PLANS FOR HILLTOP HOMES DEMOLITION PHASE 1 MCCABE AVENUE AREA DAYTON, OHIO MONTGOMERY COUNTY

The following are known owners of underground utilities & shall be notified 48 hours prior to construction to field locate said utilities. The contractor shall notify the below utility owners, OUPS (800-362-2764) and directly notify any non-member of OUPS.

SEWER

CITY OF DAYTON 320 W. MONUMENT AVE DAYTON, OHIO 45402 937-333-3725

GAS

CENTERPOINT ENERGY 6500 CLYO ROAD DAYTON, OHIO 45459 800-227-1376

CABLE SPECTRUM 2834 MIAMISBURG-CENTERVILLE ROAD DAYTON, OHIO 45459 866-874-2389

WATER

CITY OF DAYTON 320 W. MONUMENT AVE DAYTON, OHIO 45402 937-333-3725

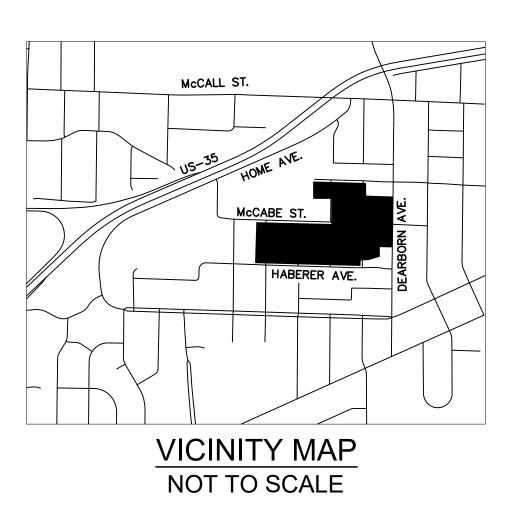
ELECTRIC

AES OHIO P.O. BOX 1247 DAYTON, OHIO 45401-1247 800-424-5578

TELEPHONE AT&T 2427 MIAMISBURG-CENTERVILLE ROAD, SPACE B12 DAYTON, OH 45459 937-439-0394









BUILDING DESIGN

PROJECT SUMMARY Project will include the demolition of existing asphalt areas, buildings, curb, sidewalk, utilities and concrete for the purpose of clearing the property.

	Sheet List Table
SHEET NUMBER	SHEET TITLE
C-0.0	TITLE SHEET
C-0.1	NOTES
C-1.0	EAST EXISTING CONDITIONS PLAN
C-1.1	NORTH EXISTING CONDITIONS PLAN
C-1.2	CENTRAL EXISTING CONDITIONS PLAN
C-1.3	WEST EXISTING CONDITIONS PLAN
C-2.0	EAST DEMOLITION PLAN
C-2.1	NORTH DEMOLITION PLAN
C-2.2	CENTRAL DEMOLITION PLAN
C-2.3	WEST DEMOLITION PLAN
C-3.0	EAST SITE, GRADING & E&SC PLAN
C-3.1	NORTH SITE, GRADING & E&SC PLAN
C-3.2	CENTRAL SITE, GRADING & E&SC PLAN
C-3.3	WEST SITE, GRADING & E&SC PLAN
C-4.0	E&SC NOTES & DETAILS
C-4.1	DETAILS

DEVELOPMENT / DESIGN TEAM

CIVIL ENGINEER / CONSULTANT Burkhardt Engineering Contact: Jonathan Burkhardt Phone: 937.388.0060 Email: jdburkhardt@burkhardtinc.com

> **RDA Group Architects** Contact: Jonathan Schaaf Phone: 937.610.3440 Email: jrs@rda-group.com

PROPERTY INFORMATION

Address: McCabe Avenue Area, Dayton, Ohio

Zoning: EMF - Eclectic Multi-Family District

Flood Zone Designation: FIRM # 39113C0251E, effective date: January 6, 2005. Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

CIVIL ISSUE LOG								
Description	Date							
Issued for Bid & Permit	05.31.2024							

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Date									
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					McCABE AVENUE AREA			MONTGOMERRY COUNTY	
						28 North Cherry Street Germantown, Ohio 45327 Phone: 937-388-0060 BURKHARDTINC.COM			
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GENERAL CONSTRUCTION NOTES

- Site/Civil Specifications: All plans, construction, materials, workmanship, and methods shall be in accordance with the current "Rules and Regulations" of the City of Dayton and the Ohio Department of Transportation Construction and Material Specifications. When in conflict, the City requirements shall prevail.
- Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
- All sediment and erosion control measures, as shown on Sheets C-3.0 to C-3.3, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.
- North arrow, existing topography, and property lines based on field survey of the subject property prepared by Burkhardt Engineering in March 2024. An ALTA/NSPS Land Title Survey was not performed, survey may not depict any or all easements impacting the subject property.
- Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
- The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
- Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
- The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards
- 10. All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
- 11. The Contractor shall review all plans prior to construction and immediately report any conflicts and/or discrepancies to the engineer-of-record.
- 12. All work within public rights-of-way shall be in accordance with the City of Dayton rules, specifications, and regulations.
- 13. Do not interrupt utility service of any kind to any building scheduled to remain. Any interruptions to service will be immediately restored by the contractor at his expense.
- 14. Do not remove shared walks if any buildings remain have direct access.
- 15. All trees within demolition areas shall remain in place unless damage is unavoidable due to demolition activities. Contact architect and Owner prior to demolition activities, as necessary to determine viability of tree protection.
- 16. Any damaged sidewalks or curbs shall be restored at contractor's expense.
- 17. All work shall be performed in accordance with applicable federal, state, and local building codes.
- 18. The contractor shall maintain a neat and orderly work and storage area. OSHA safety requirements shall be implemented and enforced by the contractor. Daily cleanup of all work areas is mandatory.
- 19. Barricades and/or fencing shall be installed by the contractor to protect the public, owner's personnel, and adjacent property from demolition operations.
- 20. Provide and install an 8'-0" temporary chain link fence around the construction site for each building or group of buildings. Refer to specifications for fence description. The contractor shall be responsible for maintaining this fence and for any damage done to the fence during the project. The contractor shall repair damage to the fence immediately upon discovery at no additional cost to the owner. The fencing shall be removed at the conclusion of the project. Provide a 20' wide lockable gate for each area.
- 1. The contractor shall carefully study and compare drawings and other contract documents. The contractor shall take field measurements and observe conditions of the work related to the contract documents. The architect should be notified promptly of any design errors, omissions, or inconsistencies for clarification and coordination before proceeding with the work. This is particularly critical for renovation work where field conditions may vary from the drawings.
- 22. The general contractor shall be responsible for contacting coordinating and paying all required fees to all utilities and others affected by the work (ie: AES, Centerpoint Energy, Charter Communications, AT&T, ADT, City of Dayton Department of Water, City of Dayton Public Works Department, etc.)
- 23. All site utilities designated to be removed shall be removed as indicated. Terminate per city of Dayton standards and utility company standards.
- 4. All storm sewer curb inlets, catch basins, manholes and storm water piping to remain unless noted otherwise. The contractor shall take measures to protect storm sewers and associated components to remain from damage. The contractor shall repair all damage done to the storm sewers and associated components during work at no additional cost to the owner.
- 25. All sanitary sewers, manholes and underground piping to remain unless noted otherwise. The contractor shall protect existing sanitary sewer structures including manholes and underground piping from damage during work. All damage to the existing sanitary sewers and associated sanitary sewer structures done during work shall be repaired by the contractor at no additional cost to the owner.
- 6. The contractor shall note the locations of all existing site utilities to remain and take measures to protect them from damage. All damage to existing site utilities to remain done during work shall be repaired by the contractor at no additional cost to the owner.
- 27. The contractor shall take measures to protect all trees and vegetation to remain. Reseed all grass areas disturbed because of the demolition activities as shown.



- removing all hazardous material per plans and specifications.
- work shall be repaired by the contractor at no additional cost to the owner.
- the owner.
- Dayton for metering and payment of water used.
- unless otherwise indicated.
- yards of approved fill required.
- 38. All existing utilities indicated as (to be abandoned in place) shall remain active until use is no longer required
- shall be replaced in kind prior to final surface course application.
- information not covered in the demolition plans.
- debris prior to vacating site.
- from accumulating or depositing on streets/public areas
- as-built pictures.
- back. For typical trench detail see sheet C-4.1.
- shall be used in this area.
- compacted in 8" lifts.
- lifts unless noted otherwise.

28. If hazardous materials are encountered, including asbestos, the contractor shall notify the architect and the owner immediately upon discovery. The contractor is responsible for

29. All items to remain shall be protected from damage during work. All items damaged during

30. All existing utility poles, including power poles and light poles, shall remain unless their sole purpose was to service the building to be demolished. Contact architect or utility company if questions arise regarding pole removal. The contractor shall protect the existing poles from damage during work. Damage done to the poles and light fixtures during work shall be repaired by the contractor at no additional cost to the owner.

31. The contractor shall protect all existing concrete curbs, curb cuts and sidewalks designated to remain in the right of way from damage during the course of work. All damage done to curbs, curb cuts and sidewalks shall be repaired by the contractor at no additional cost to

32. Dust control plan: the contractor shall use water mist to control dust. The contractor shall pay for water usage during the project. The contractor shall coordinate with the city of

33. The contractor shall always be responsible for site security during the project. This includes maintaining the temporary fence and securing the site when work is not being performed. 34. All existing street signage adjacent to the roadways and within the right of way shall remain

35. Existing building drawings are available for review at the office of the architect.

36. The contractor shall include in their base bid price the provision and placement of all cubic

37. All surveying for the demolition and construction on this project to be by or under the direction of a registered surveyor licensed for the state of Ohio & all as-built information shall be provided by the registered surveyor & sealed as required. All layout information shall be taken from non-electronic data, sealed, project construction plans only.

39. All existing pavement (that is to remain) which is removed during existing utility removal

40. The contractor shall conform to the general notes specifications for any additional

41. The demolition contractor shall vacate the site at the conclusion of the project and leave the project area in a clean and usable condition. Remove all miscellaneous trash and

42. The contractor shall immediately remove all debris, mud and silt tracked onto adjacent streets. The contractor shall hose down all trucks prior to leaving the site to prevent mud

43. Contractor to provide as-built information for the cap/plug of the existing water, sanitary, and storm. As-built information to include depth from top of structure and location with

44. For buildings to be demolished, remove all utilities (sewer, electric, water, cable TV, gas, telephone, etc.) back to point where line is still to remain active or to the street right of way line - cut and cap as necessary. No abandoned utility lines shall remain above or below ground. In lieu of removal of existing utility, contractor can abandon in place by filling with flowable fill if approved by city of Dayton. See detail sheet C-4.1. Restore and compact

45. Determine where demolition may affect structural integrity of adjacent buildings. Identify measures required to protect buildings from damage. If at any time the demolition of buildings compromises the adjacent buildings stop immediately and contact the architect 46. All demolition work within 10' of buildings to remain shall be by hand. No large machinery

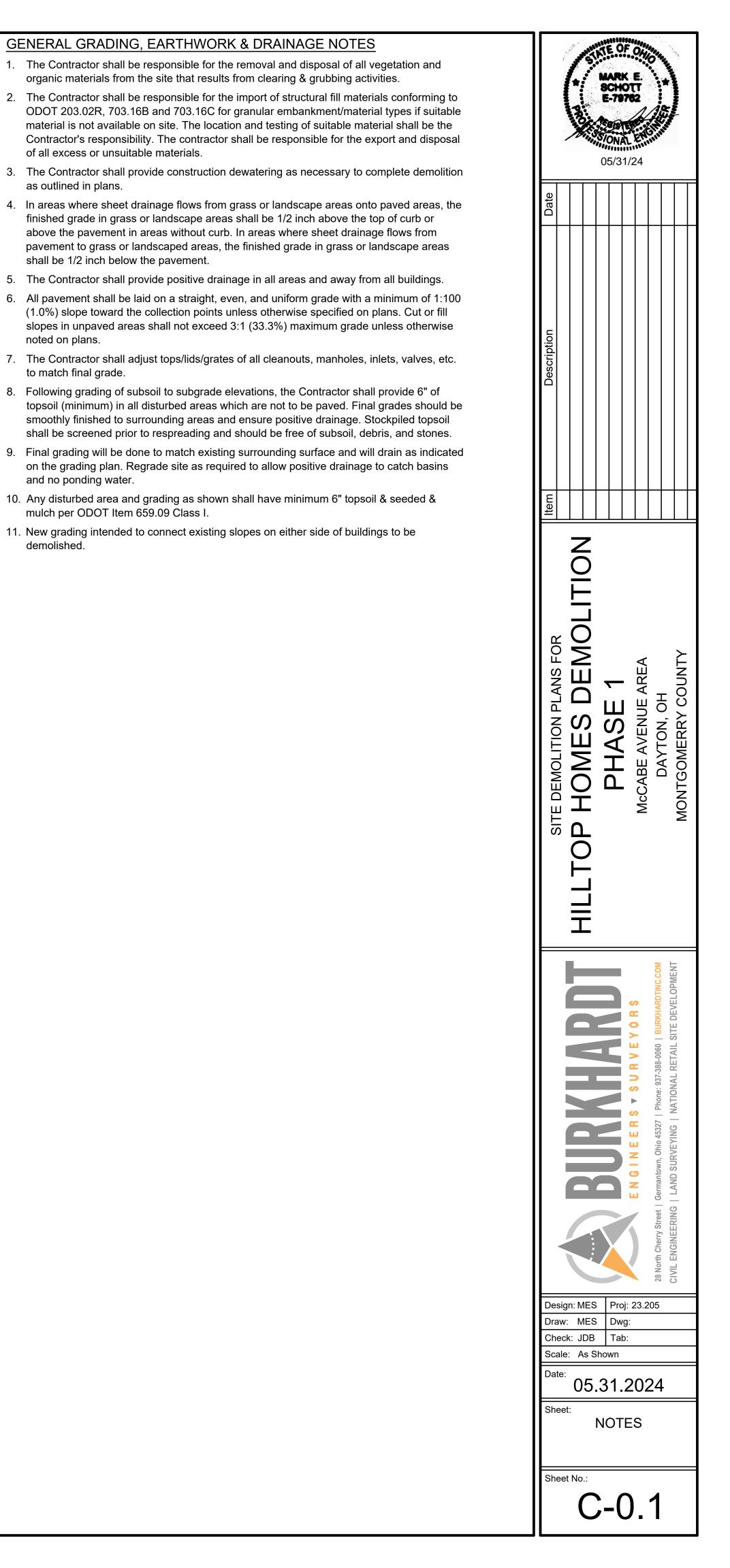
47. Demolition and backfill rough grading work shall be completed in each section before work starts on another section. A section is defined by the construction limits fencing.

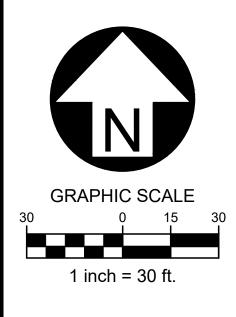
48. Where fill is required from building removal, backfill to be native fill material conforming to ODOT 203.02R and 703.16. Material shall be placed at 90% standard proctor and

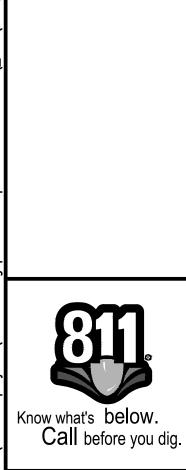
49. All grading shown where fill is required shall be native fill material conforming to ODOT 203.02R and 703.16. Material shall be placed at 90% standard proctor and compacted in

GENERAL DEMOLITION NOTES

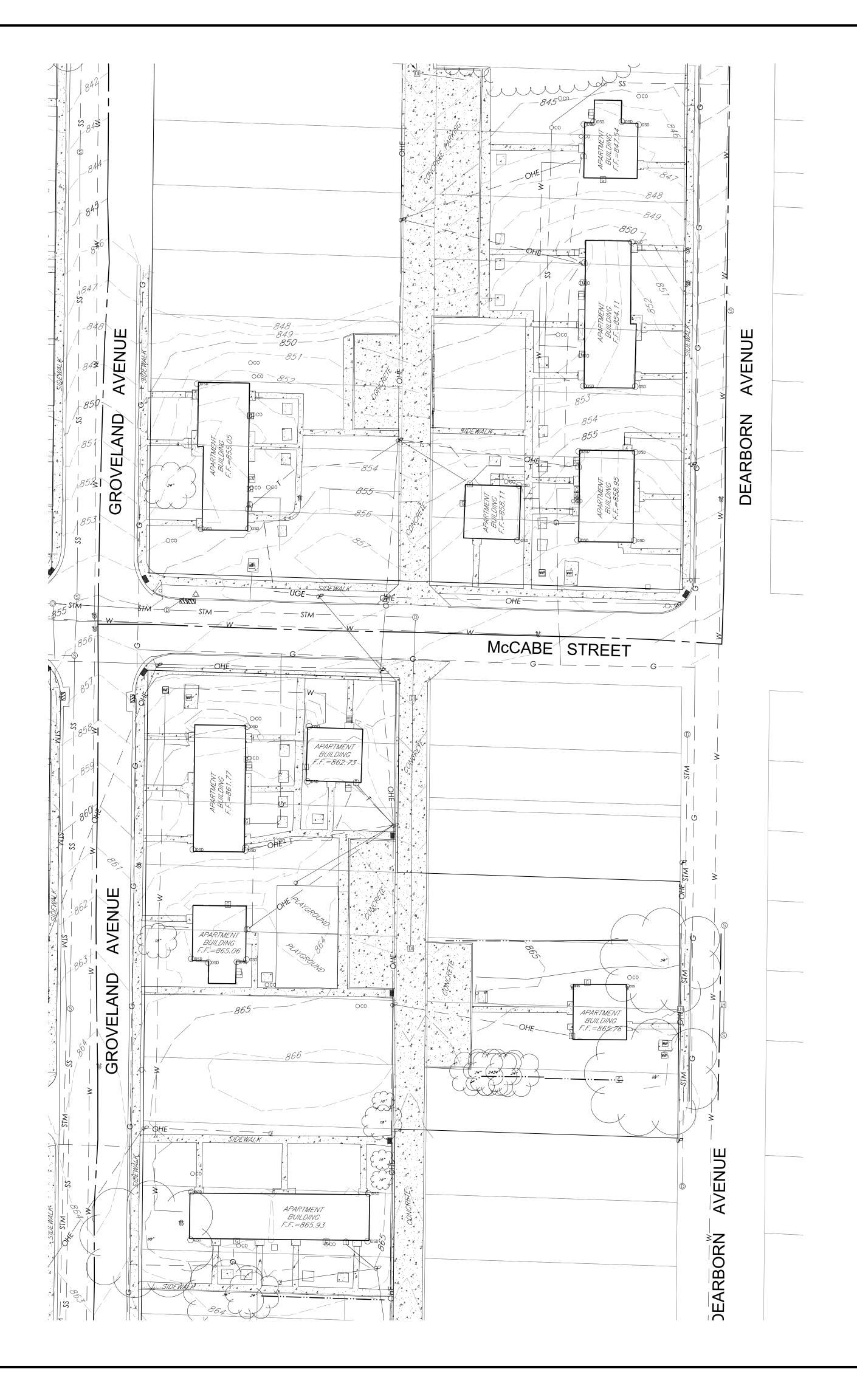
- 1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
- 2. All items noted to be removed shall be done as part of the contract for general construction.
- 3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
- 4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
- The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
- For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
- The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
- Limits of removal and sawcut lines shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
- 9. All demolition and grading activities shall be in accordance with ODOT 201 Clearing and Grubbing, ODOT 202 - Removal of Structures & Obstructions and ODOT 203 - Roadway Excavation & Embankment:
- 10. Remove all buildings, limits indicated, including but not limited to existing multi-storied masonry and reinforced concrete buildings complete including but not limited to poured concrete foundations, footings, foundation walls, sub basements, basements, concrete steps, rails, overhangs, perimeter piping & drains, underground mechanical tunnels, chases, and external wall mounted light fixtures.
- 11. Remove existing asphalt pavement (limits indicated) completely including sub-base materials and bumper block.
- 12. Remove existing concrete/asphalt walks, walk & curb combination, islands & pads (as noted) including foundations & base material below.
- 13. Contractor shall contact AES and owner. The contractor shall coordinate and ensure that AES shall disconnect and terminate existing primary electric service and abandon in place. AES to remove transformer completely. Contractor shall coordinate with AES and owner prior to de-energizing electrical service. Remove existing power poles that are only servicing the building to be removed.
- 14. Match all existing curb and walk when repairing curb and walk that was broken or damaged during demolition. Contact the architect where existing conditions do not match the detail. For repair of concrete curb where concrete walk abuts, use 1/2" expansion joint between curb and walk.
- 15. Coordinate all utility removal with utility owners (AES Ohio, Centerpoint Energy, the City of Dayton, etc.) and applicable governmental regulators.
- 16. Existing underground utilities & services are shown in their approximate locations. Locations shown are intended only as a guide & cannot be guaranteed accurate. The contractor shall be responsible for:
- Contacting all utility owners ten days prior to construction & advising them of the work to take place.
- Soliciting their aid in locating & protecting any utility which may interfere with В. construction.
- C. Excavating & verifying the horizontal & vertical location of each utility prior to excavation.
- D. All damage to any existing utility.
- 17. All downspout collection systems denoted to be removed shall be completely disconnected from the building structure to the respective downstream storm main/structure. Any downspout collection system that terminates under pavement that is to remain shall be plugged/capped at the nearest edge of pavement location. For pipes that are 8" or larger in diameter, the plug shall be in accordance with the plug detail shown on sheet C-4.1. For pipes smaller than 8" in diameter, use the appropriate PVC fittings.
- 18. Contractor to contact Chris Holmes (937-333-3725) at the City of Dayton Department of Water to set up work orders for cut and plugs of water, sanitary, and storm sewer utilities.





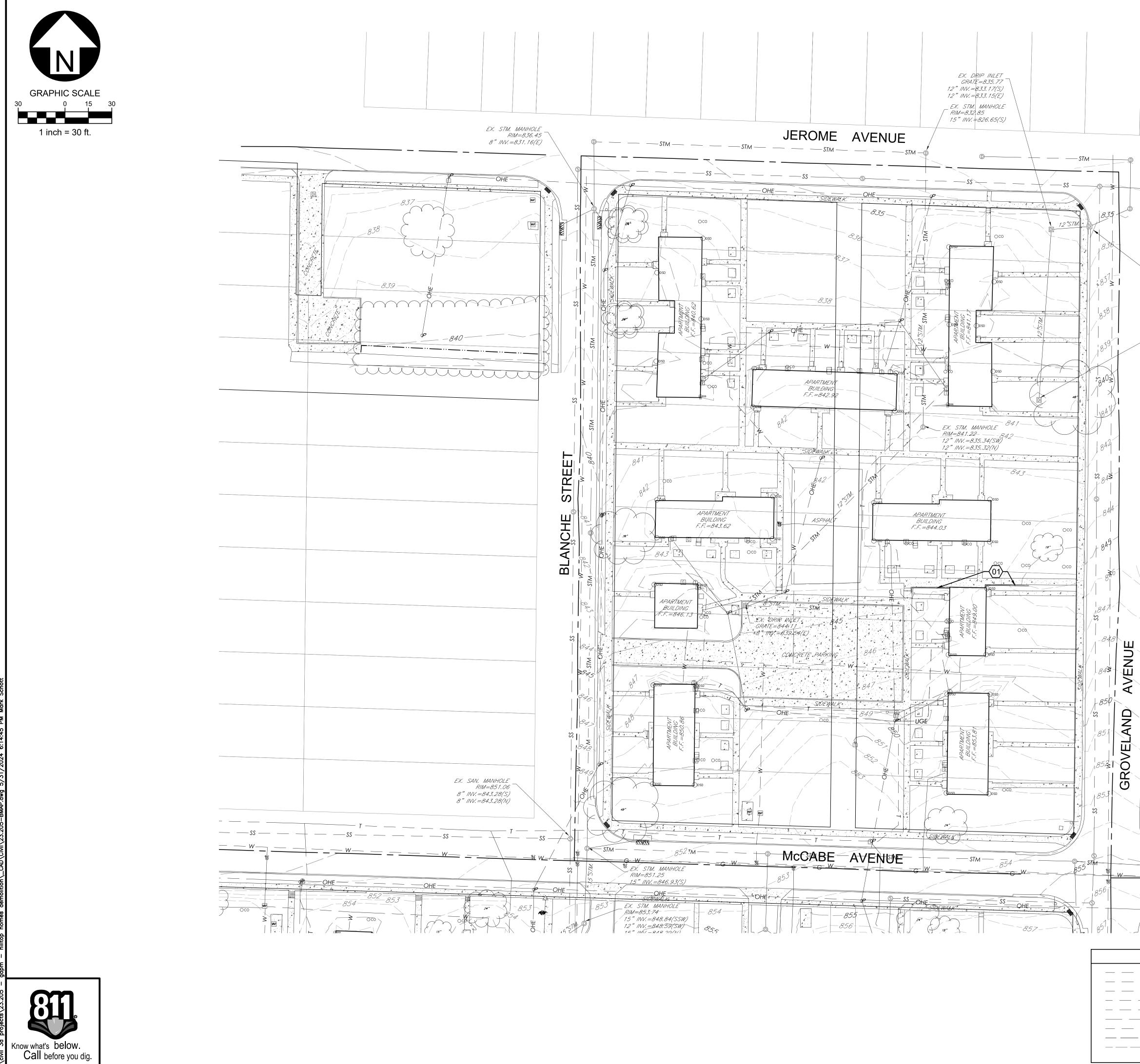


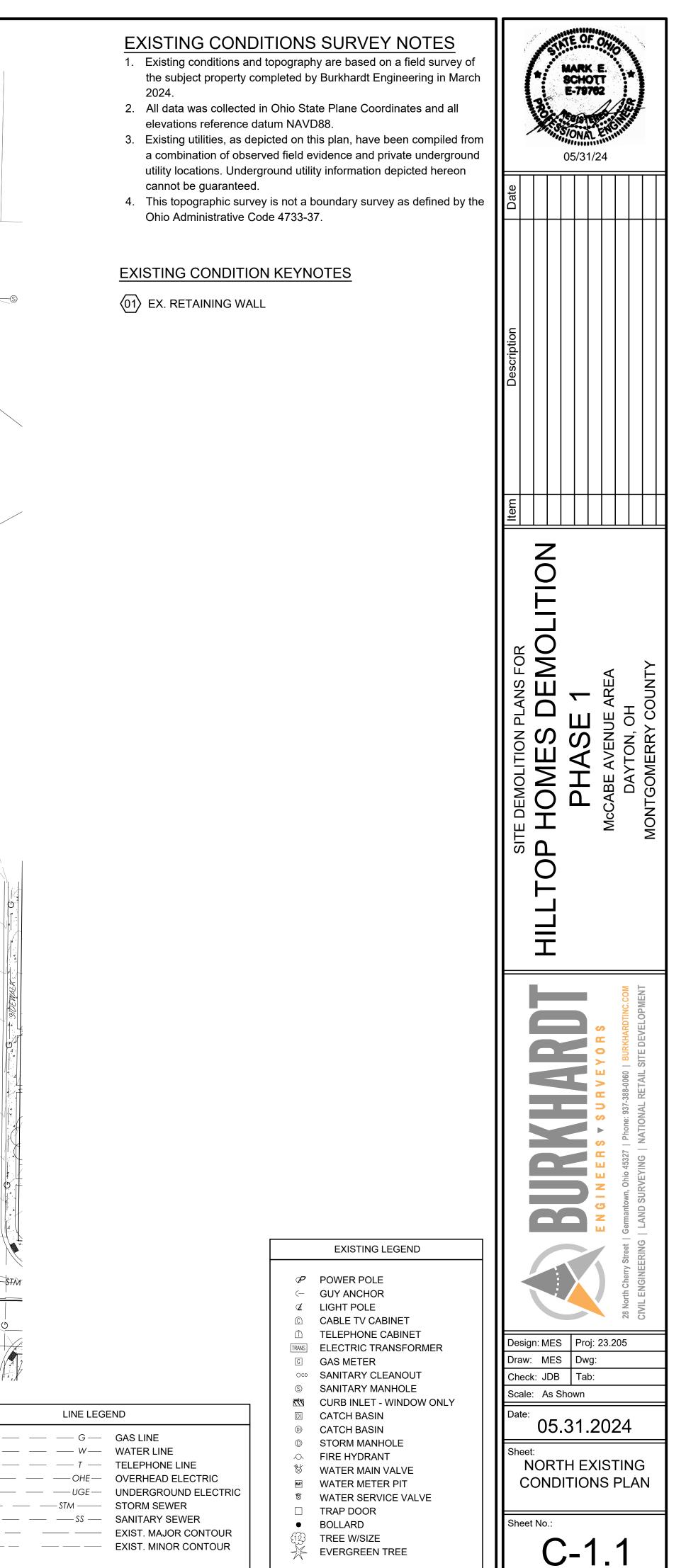
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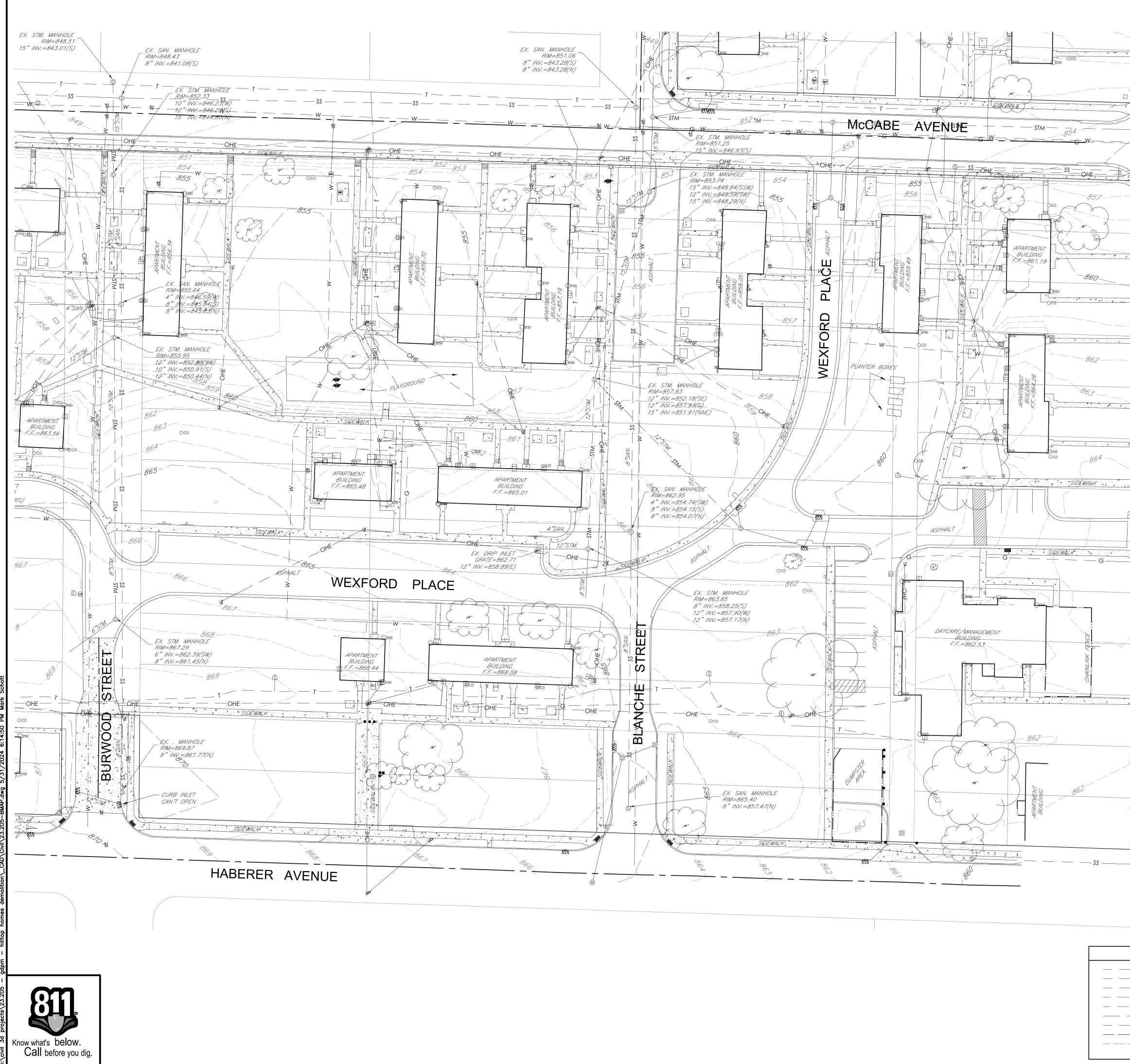
 EXISTING CONDIT Existing conditions and to the subject property com 2024. All data was collected in elevations reference data Existing utilities, as depic a combination of observe utility locations. Undergro cannot be guaranteed. This topographic survey Ohio Administrative Code 	MARK E. SCHOTT E-79702 B O5/31/24				
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		BURKHARDING BURKHA			
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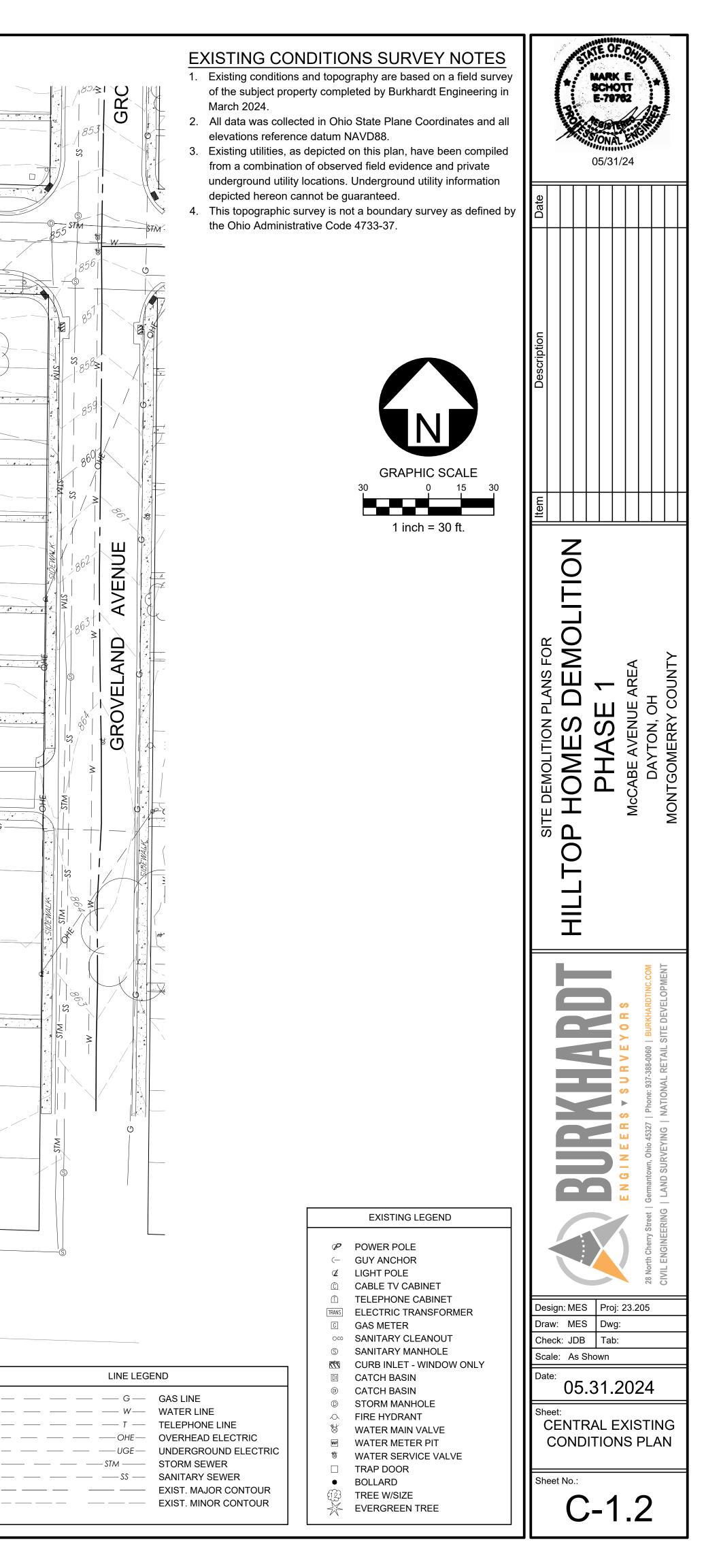
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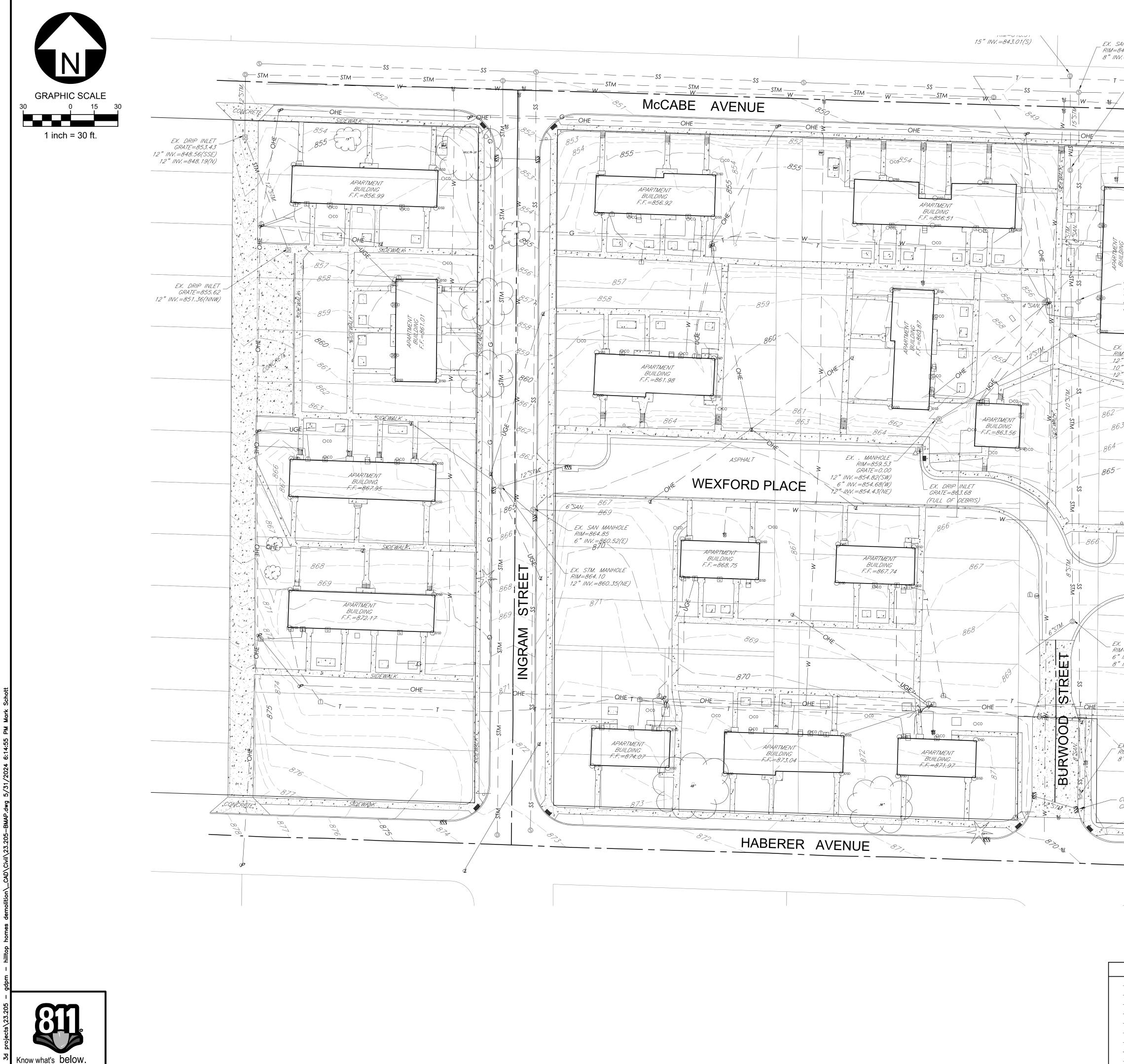




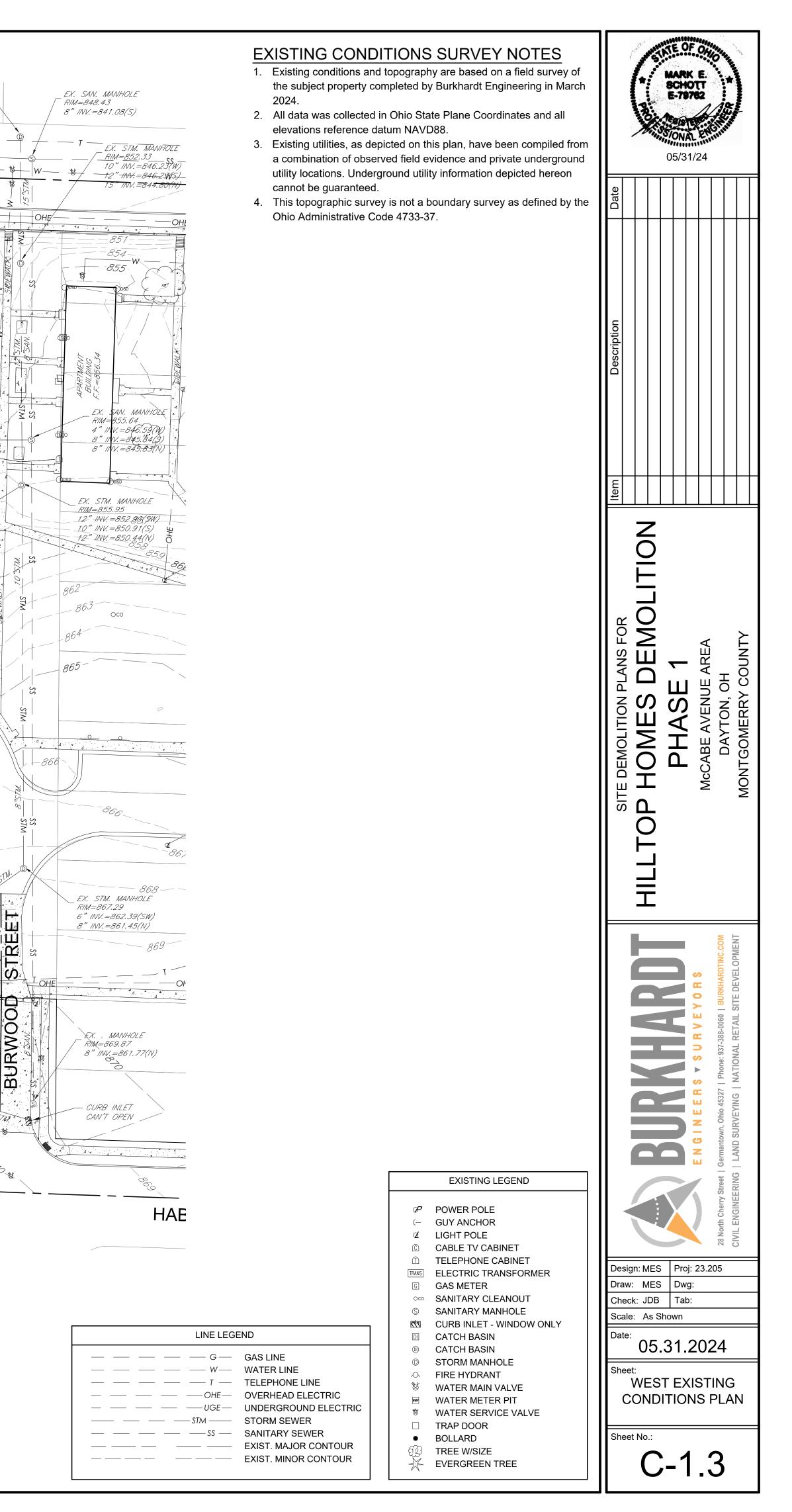
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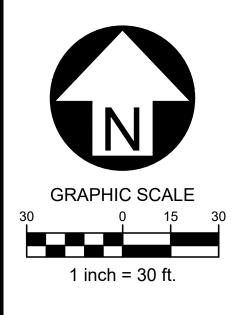






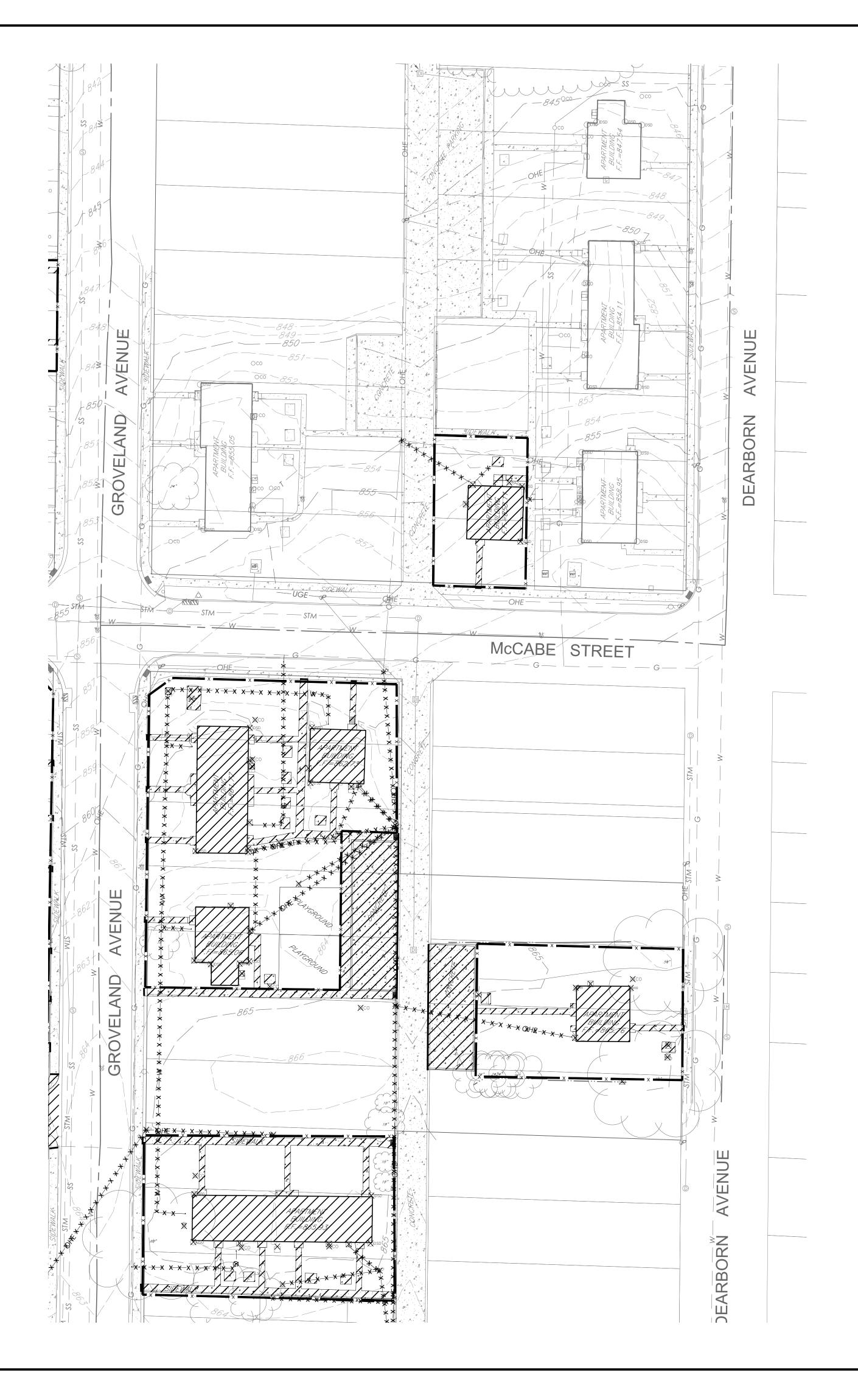
Know what's below. Call before you dig.





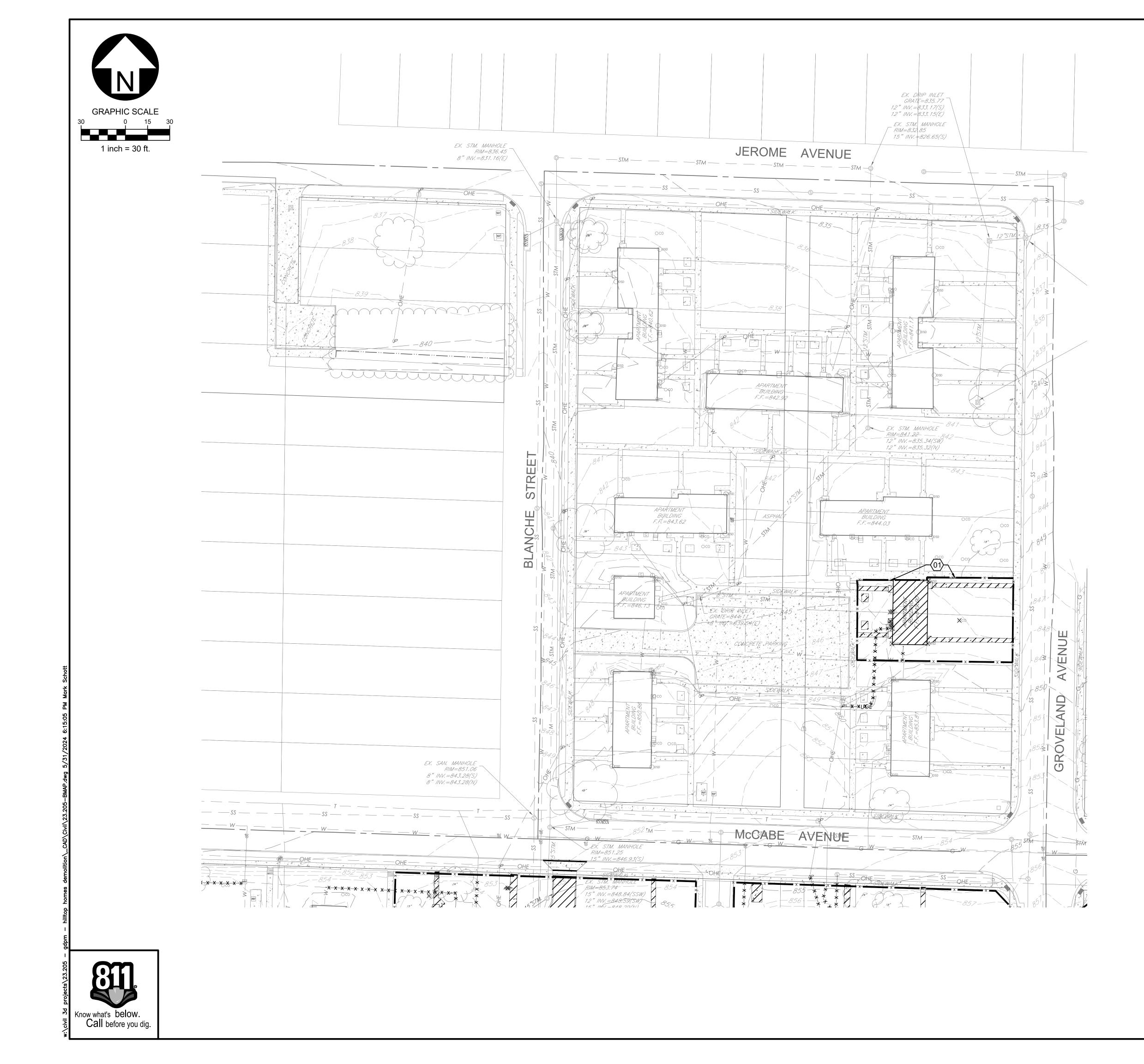






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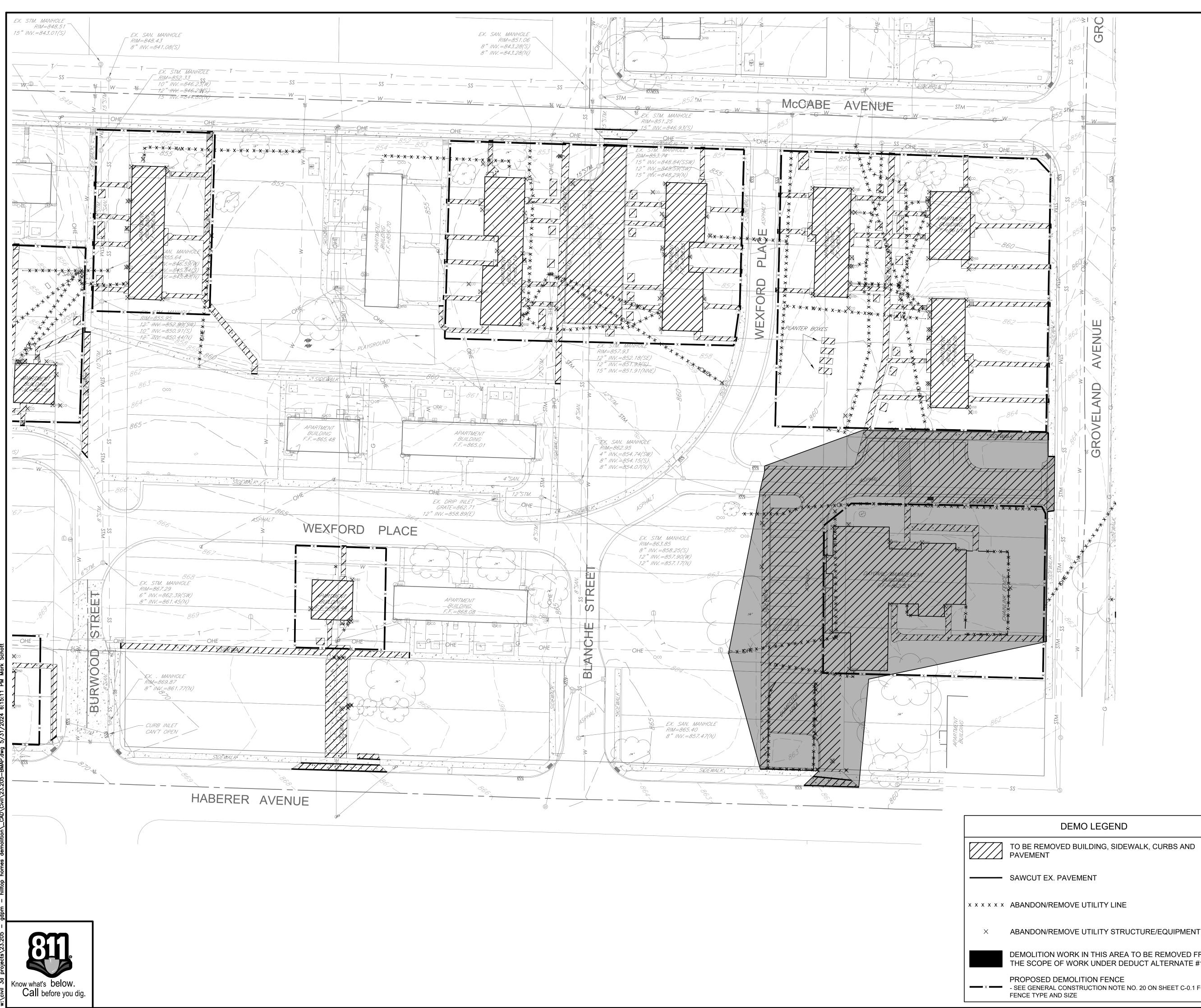


DEMOLITION KEYNOTES

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DEMO LEGEND

ABANDON/REMOVE UTILITY STRUCTURE/EQUIPMENT

DEMOLITION WORK IN THIS AREA TO BE REMOVED FROM THE SCOPE OF WORK UNDER DEDUCT ALTERNATE #1

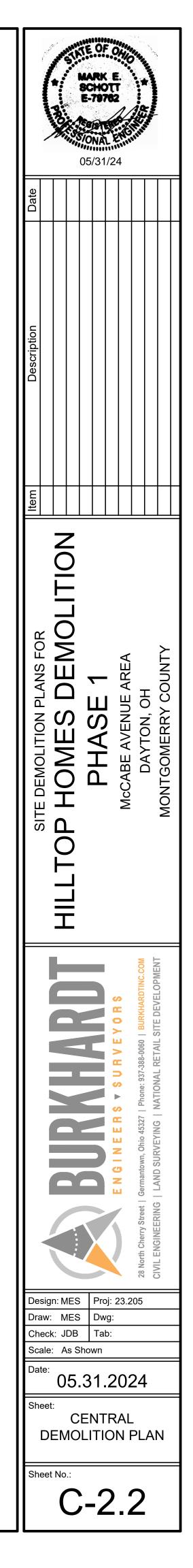
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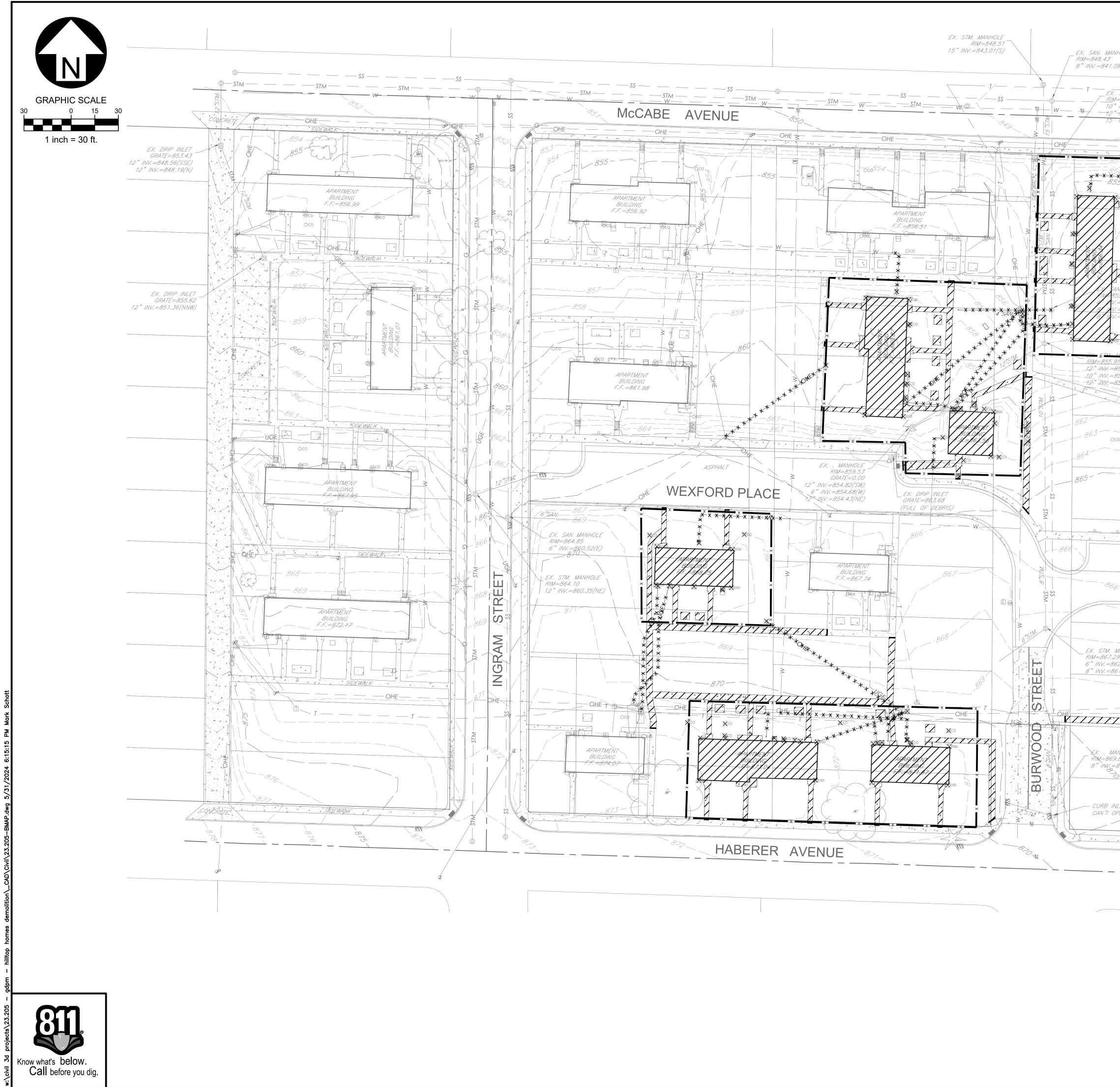
1 inch = 30 ft.

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- SEE GENERAL CONSTRUCTION NOTE NO. 20 ON SHEET C-0.1 FOR

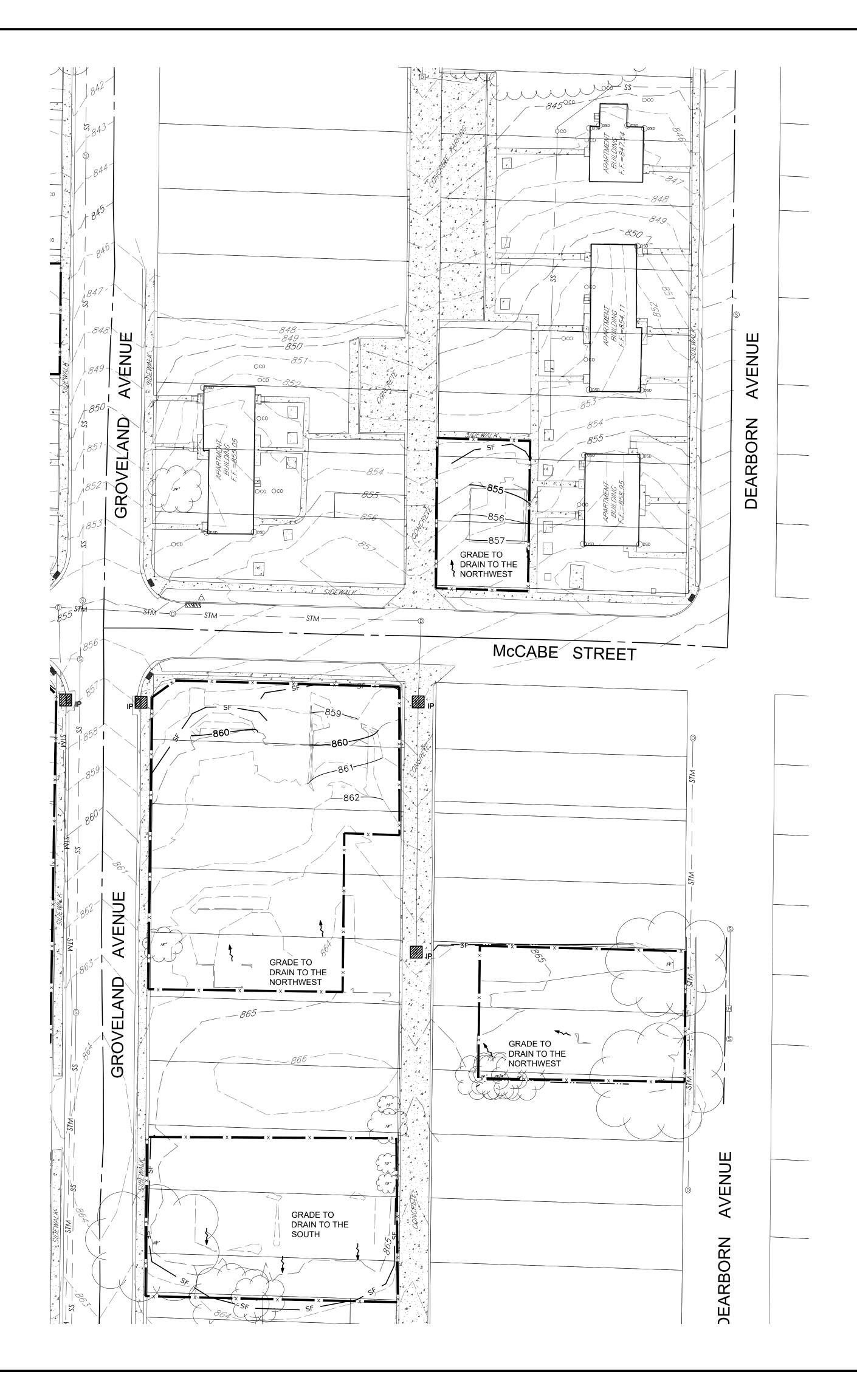




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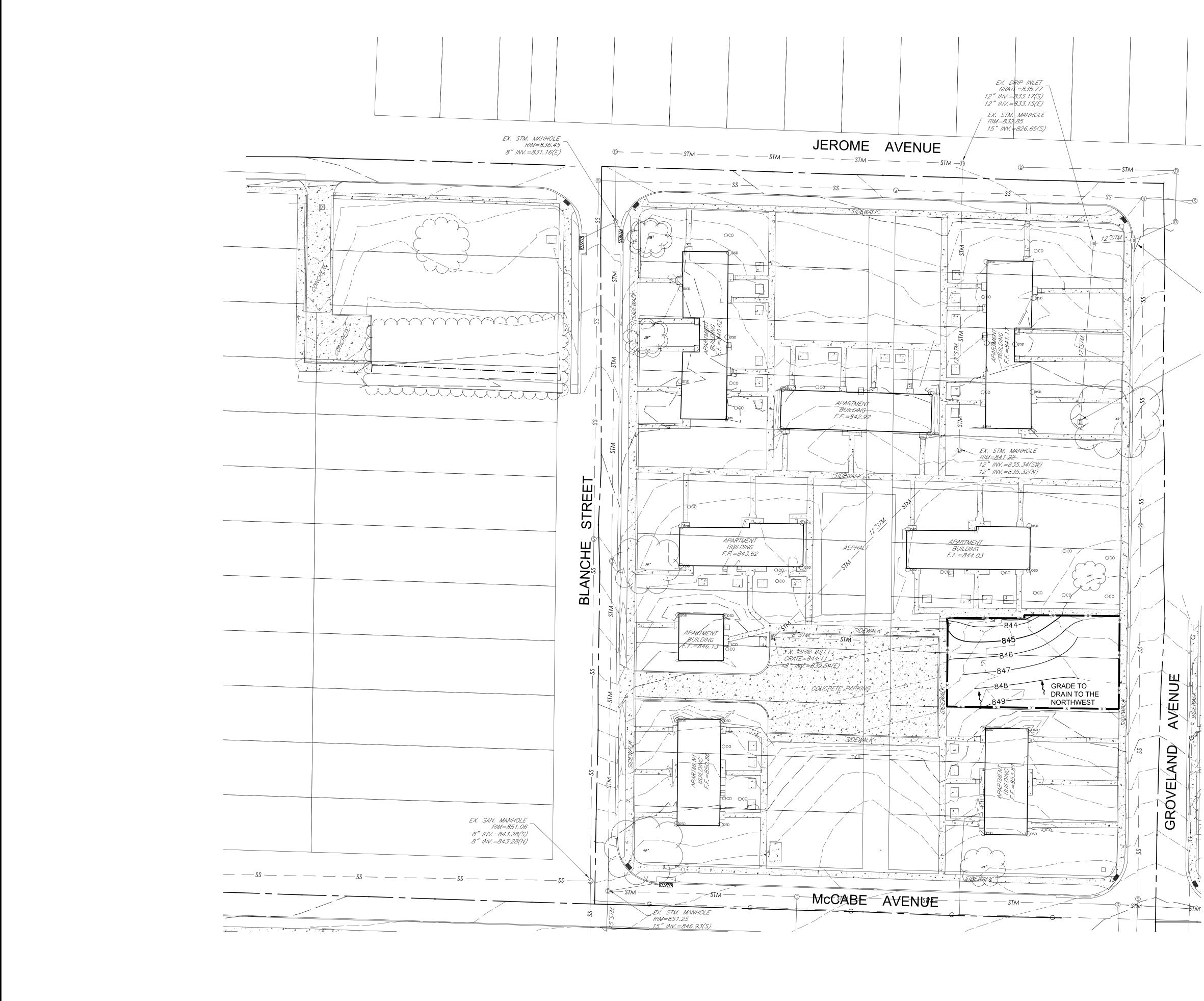
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1 inch = 30 ft.

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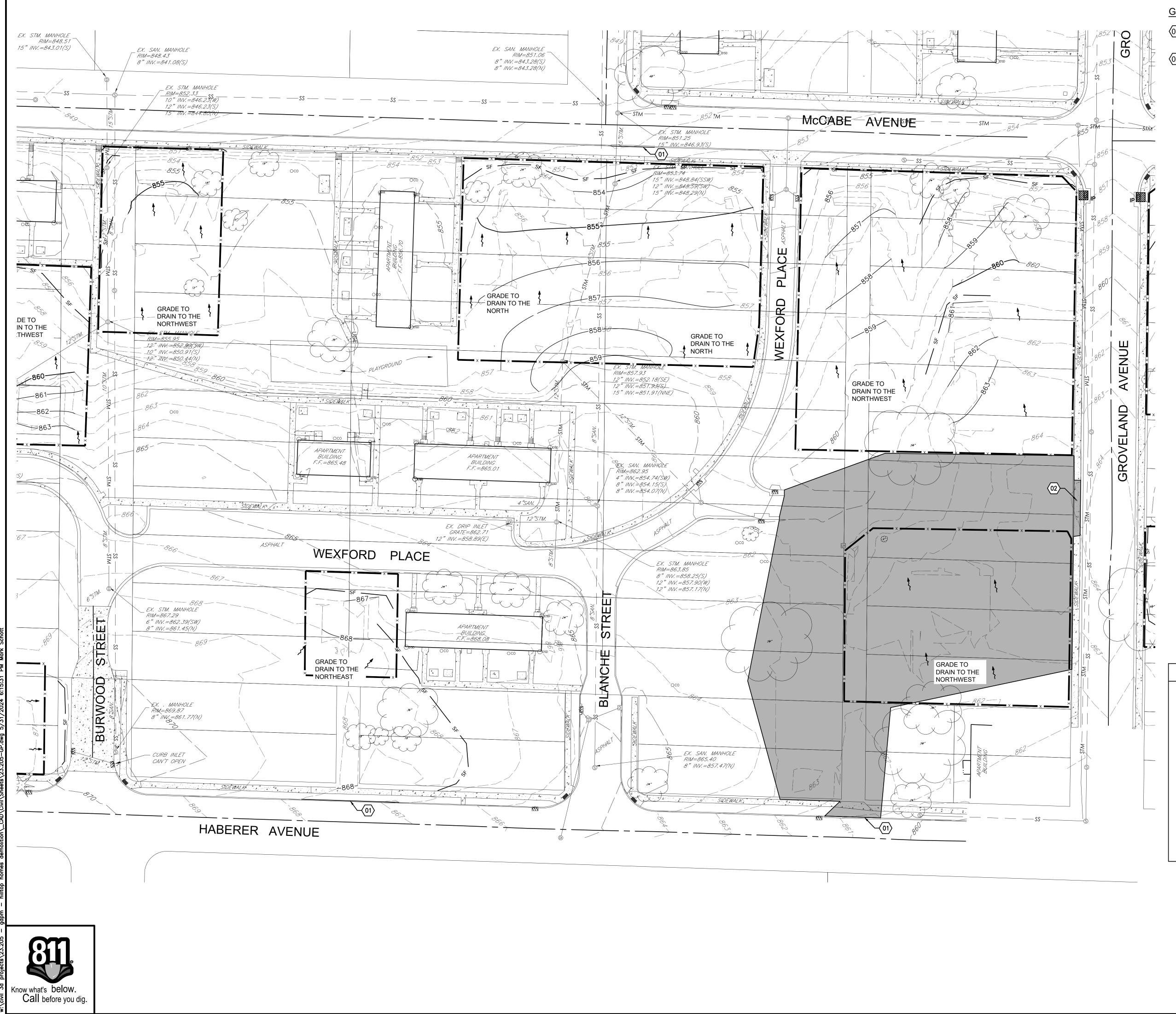
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1 inch = 30 ft.

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GRADING KEYNOTES 01 PROP. CURB

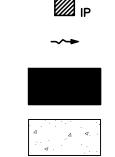
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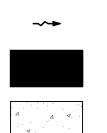
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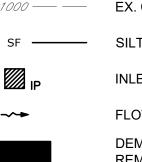
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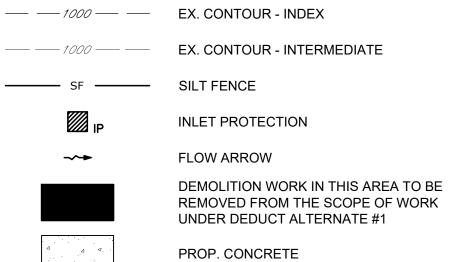
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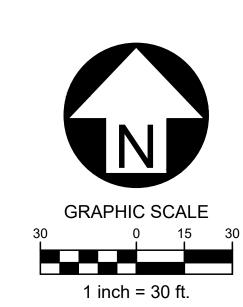






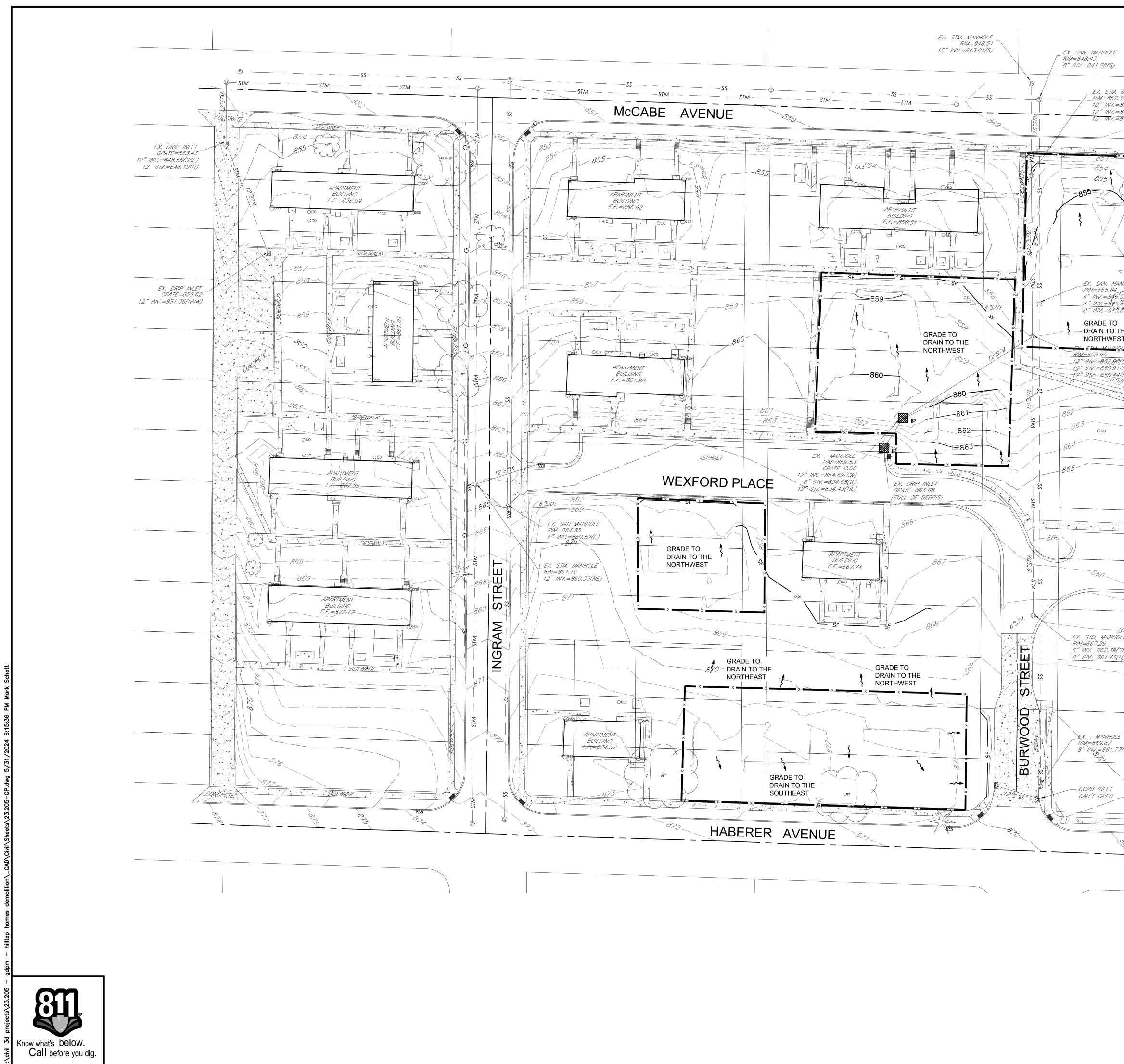




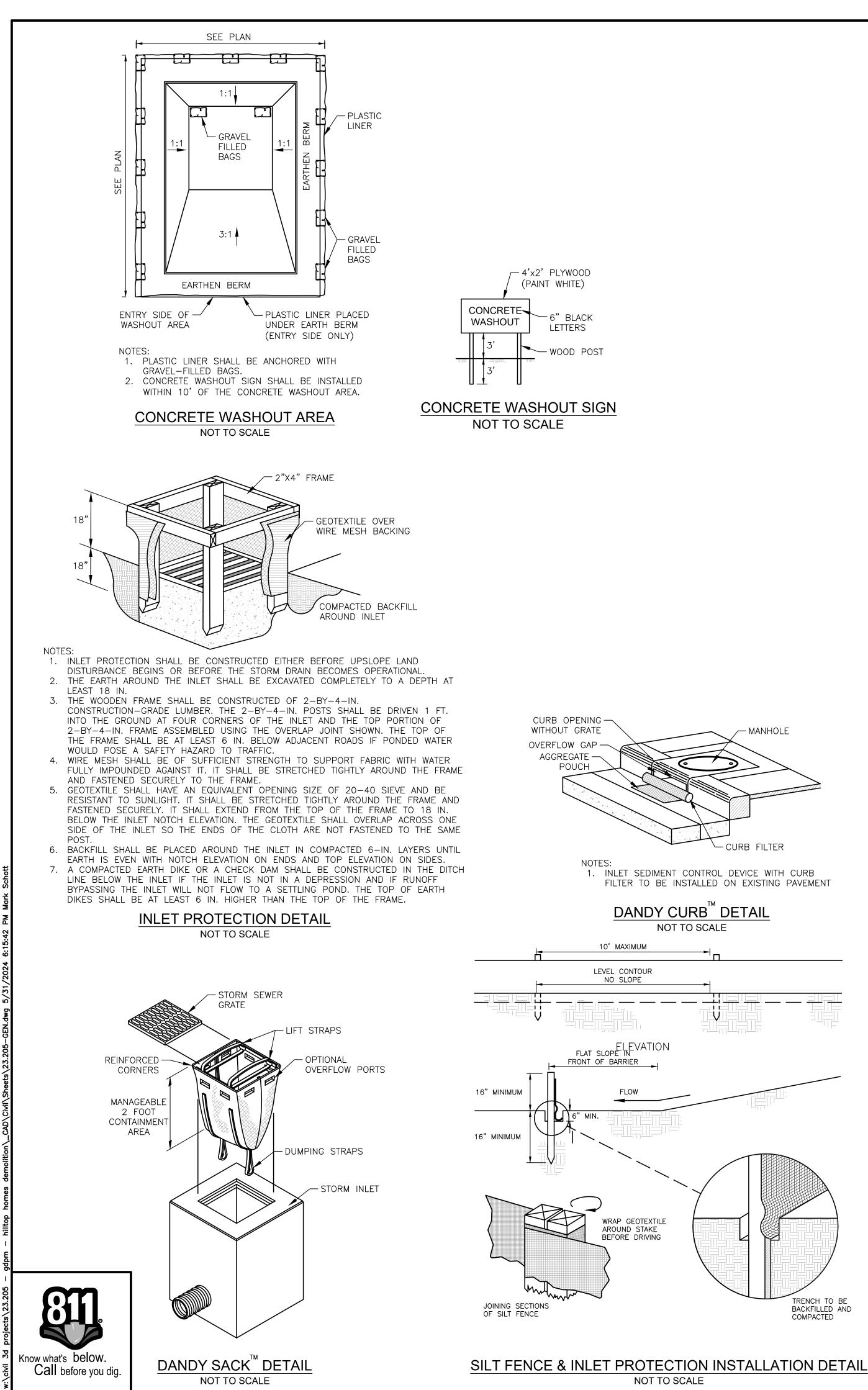


MARK E. SCHOTT E-79762 B SONAL ENGINE 05/31/24
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GENERAL STORMWATER POLLUTION PREVENTION NOTES

1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.

2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.

3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.

4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.

5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.50 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.

6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be permanently stabilized (seeded and mulched) within 7 days of most recent disturbance.

7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 14 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work

8. Soil stockpiles shall be stabilized or protected to prevent soil loss.

9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.

10. Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.

11. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition. 12. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route. 13. No solid or liquid waste shall be discharged into storm water runoff.

14. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.

15. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.

16. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.

17. No fuel storage is permitted on-site.

18. All storm sewers shall be cleared of construction sediment upon completion of construction.

19. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA.

20. The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA's General Permit for Construction No. OHC000006 and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.

21. Dumpsters shall be provided for the disposal of debris, trash, hazardous and petroleum waste. All containers must be covered and leak proof.

22. All construction and demolition debris waste will be disposed of in an OEPA approved C&DD landfill as required by Ohio Revised Code 3714.

23. Any areas that will be used for mixing or storing fertilizers, lime, asphalt or concrete or used for vehicle fueling shall be designated and these areas should be kept away from any watercourses or storm sewers. 24. A Spill Prevention Control and Countermeasures (SPCC) Plan shall be developed if the site has one above ground storage tank of 660 gallons or more, total above ground tank storage of 1330 gallons, or below ground storage of 42,000 gallons of fuel.

25. In the event of a large release of petroleum waste (25 gallons or more) contractor shall contact OEPA at 1-800-282-9378, the local fire department and the local emergency planning committee (LEPC) within 30 minutes of spill.

26. Protected storage areas for industrial or construction materials shall be used to minimize exposure of such materials to storm water.

27. If the Contractor uses pumps to assist in construction dewatering efforts, the water must be filtered prior to discharging it into the municipal storm sewer system, ensuring that no soil, silt or sediment enters the

28. Contractor to review and determine the best locations for concrete washout, dumpsters, and other SWPPP elements. All dirt and sediment is to be kept off public streets

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

1. Install silt fence and protection fencing. 2. Initial clearing, grubbing, and demolition 3. Place inlet filters on all storm inlets.

4. Final grade site.

5. Install curb and other hardscape structures/surfaces.

6. Stabilize ditches, swales, common areas and slopes.

Establish permanent vegetation for all disturbed areas 8. Remove all temporary erosion and sediment control devices.

9. Clean out storm sewer system, infiltration, detention, and retention areas upon completion.

SOIL EROSION CONTROL MAINTENANCE

•Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.

• All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.

• Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.

• Sediment from the storm sewers, infiltration, detention, and retention areas shall be removed as necessary to maintain proper functionality.

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	HILLTOP HOMES DEMOLITION	PHASE 1		DAYTON, OH	MONTGOMERRY COUNTY
			ENGINEERS V SURVEYORS	28 North Cherry Street Germantown, Ohio 45327 Phone: 937-388-0060 BURKHARDTINC.COM	CIVIL ENGINEERING LAND SURVEYING NATIONAL RETAIL SITE DEVELOPMENT
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