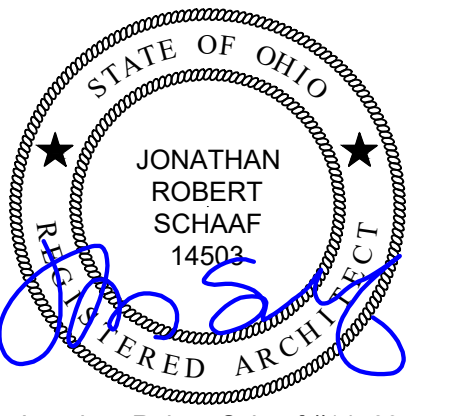


Site Demolition Project at: Hilltop Homes - Phase 2

631 Groveland Avenue
Dayton, Ohio 45417

Greater Dayton Premier Management



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025

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Site Demolition Project at:
**Hilltop Homes
Phase 2**
631 Groveland Avenue
Dayton, Ohio 45417
Greater Dayton Premier Management

OWNER



Greater Dayton
Premier Management

DESIGN TEAM

ARCHITECT:



CIVIL ENGINEER



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ABBREVIATIONS

°	DEGREES	FD	FLOOR DRAIN FOUNDATION	R / RAD	RADIUS
±	PLUS OR MINUS	FDN	FOUNDATION	RA	RETURN AIR
≠	NOT EQUAL	FE	FIRE EXTINGUISHER	RB	RUBBER BASE
∅	DIAMETER	FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
∠	ANGLE	FF	FINISH FLOOR	REF	REFRIGERATOR
ℓ	CENTERLINE	FIN	FINISH / FINISHED	REINF	REINFORCE
ℓ	PROPERTY LINE	FRT	FIRE RETARDANT TREATED	REQD	REQUIRED
		FSE	FOOD SERVICE EQUIPMENT	REQMT	REQUIREMENT(S)
ABV	ABOVE	FTG	FOOTING	REV	REVISION
ADA	ACCESSIBLE / HANDICAP ACCESSIBLE / ACCESSIBILITY - ANSI ICC-117.1-2009	FV	FIELD VERIFY	RO	ROUGH OPENING
				R/W	RIGHT OF WAY
GA	GALVE	GA	GALVE	SALV	SALVAGED
ALF	ALTERNATE	GC	GENERAL CONTRACTOR	SF	SQUARE FEET
ALUM	ALUMINUM	GYP	GYP	SM	SHEET METAL
APPROX	APPROXIMATE	GYP BD	GYP BOARD	SPEC	SPECIFICATION
ATC	ACOUSTIC TILE CEILING	HB	HOSE BIBB	SQ	SQUARE
BET/BETWN	BETWEEN	HM	HOLLOW METAL	SS	STAINLESS STEEL
BLKG	BLOCKING	HR	HORIZONTAL	STD	STANDARD
BRG	BEARING	HT	HEIGHT	STL	STEEL
BSMT	BASEMENT	HVAC	HEATING, VENTILATION, AIR CONDITIONING	T	TEMPERED
BTM	BOTTOM	INT	INTERIOR	T&B	TO BE DETERMINED TOP AND BOTTOM
CIP	CAST IN PLACE	JB	JUNCTION BOX	T&G	TONGUE AND GROOVE
CJ	CONTROL JOINT	LL	LIVE LOAD	T.O.	TOP OF
CL	CENTERLINE	LLH	LONG LEG HORIZONTAL	TR	TREATED
CLG	CEILING	LLV	LONG LEG VERTICAL	TR	TYPICAL
CLR	CLEAR	LTL	LINTEL	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	UNO	UNLESS NOTED OTHERWISE
COL	COLUMN	MECH	MECHANICAL	UL	UNDERWRITER'S LABORATORY
CONC	CONCRETE	MFR	MANUFACTURER	VB	VAPOR BARRIER
CONT	CONTINUOUS	MIN	MINIMUM	VERT	VERTICAL
CPT	CARPET	MISC	MISCELLANEOUS		
CT	CERAMIC TILE	MO	MASONRY OPENING	W/	WITH
DEMO	DEMOLISH / DEMOLITION	MS	METAL STUD	W/O	WITHOUT
DF	DRINKING FOUNTAIN	MTD	MOUNTED	WD	WOOD
DIA	DIAMETER	MTL	METAL	W.P.	WORK POINT
DIM	DIMENSION	NIC	NOT IN CONTRACT	WRB	WEATHER RESISTIVE BARRIER
DIV	DIVISION	NOM	NOMINAL	WWF	WELDED WIRE FABRIC
DP	DEEP	NTS	NOT TO SCALE		
DS	DOWNSPOUT	OC	ON CENTER		
DTL	DETAIL	OH	OVERHEAD		
DW	DISHWASHER	OPG	OPENING		
DWG	DRAWING	OPP	OPPOSITE		
EA	EACH	PEMB	PRE-ENGINEERED METAL BUILDING		
EERO	EMERGENCY ESCAPE & RESCUE OPENING	PL	PLATE / PROPERTY LINE		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	PTD	PAINTED		
EJ	EXPANSION JOINT	QT	QUARRY TILE		
ELEC	ELECTRIC / ELECTRICAL	QTY	QUANTITY		
ELEV	ELEVATION / ELEVATOR				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EX	EXISTING				
EXP	EXPANSION				

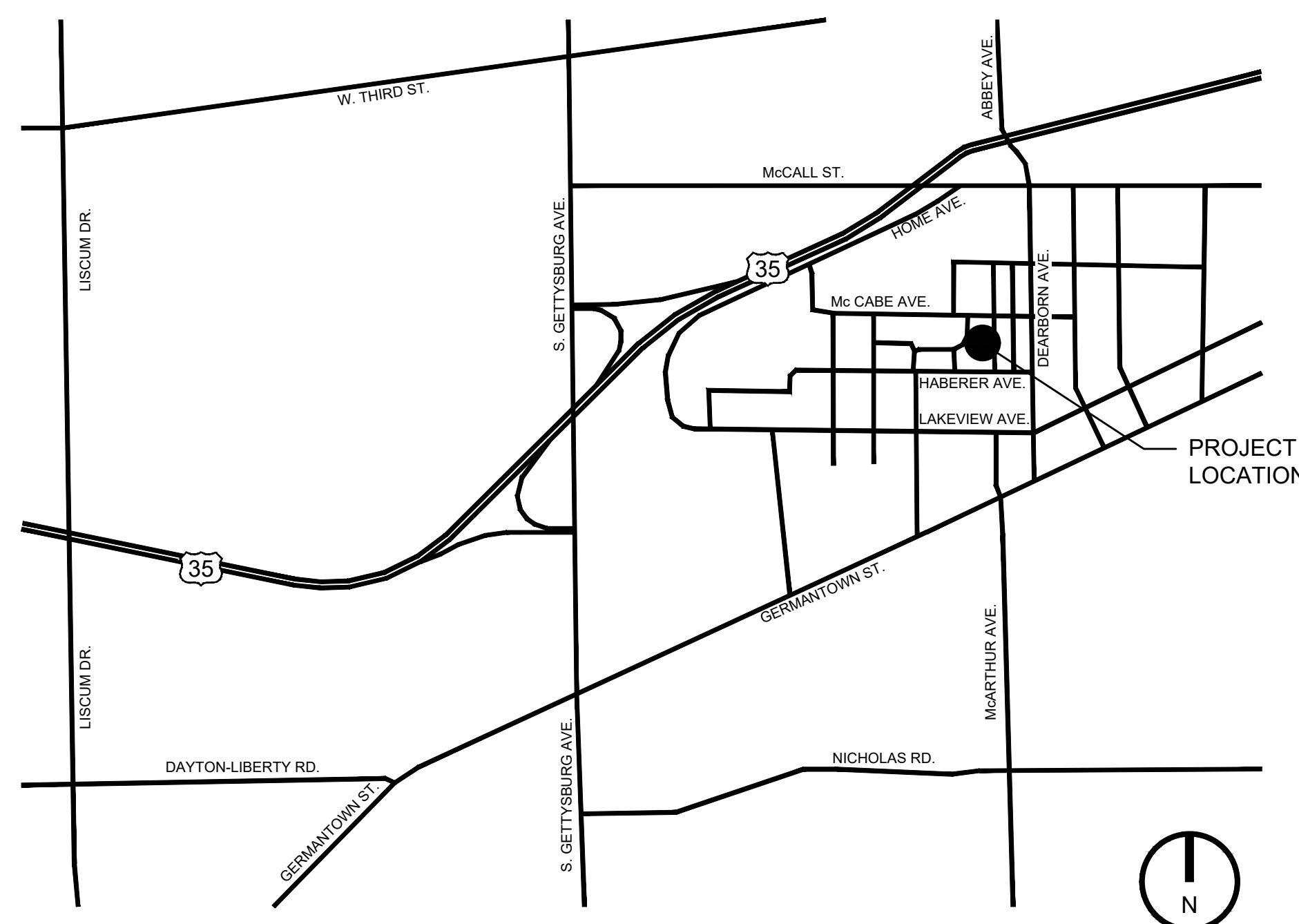
RDA CONTRACT ADMINISTRATION

- RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. CONTRACTOR AND CLIENT / OWNER ARE RESPONSIBLE TO COORDINATE THE PROPOSED WORK, SCHEDULES, INSTALLATIONS, PERMITS, INSPECTIONS, ETC.
- CONTACT ARCHITECT FOR CLARIFICATION SHOULD THERE BE QUESTIONS REGARDING THE INTERPRETATION OR INTENT OF THE DOCUMENTS, FIELD DISCOVERY, ETC. THAT WOULD IMPACT OR AFFECT THE WORK AS PROPOSED. RDA IS NOT BE LIABLE FOR DEVIATIONS, FIELD CHANGES, AND CLIENT / OWNER CHANGES DURING CONSTRUCTION.
- FIELD CONFIRM ALL EXISTING CONDITIONS, PROPOSED INSTALLATIONS AND HOW THEY INTERFACE TO ENSURE THE SYSTEMS CAN BE INSTALLED PER THE INTENT OF THE DOCUMENTS AND TO MEET APPLICABLE BUILDING AND ZONING CODES, LOCAL REQUIREMENTS, CLIENT / OWNER REQUIREMENTS, ETC.
- MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS WHETHER SPECIFICALLY NOTED HEREIN OR NOT. BUILDING CODES REPRESENT THE MINIMUM ACCEPTABLE STANDARD.
- INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS, APPLICABLE MANUFACTURER'S DETAILS AND INSTRUCTIONS, IN ACCORDANCE WITH BEST PRACTICES, AND BUILDING CODE PROVISIONS.

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN 'INSTRUCTION MANUAL' TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

VICINITY MAP



Project Number		2024-014
Date		August 15, 2024
Date	Issue	
08.08.24	Review Set	
08.15.24	Bid Set	
Sheet Title		Project Title Sheet
Sheet Number		G1.1



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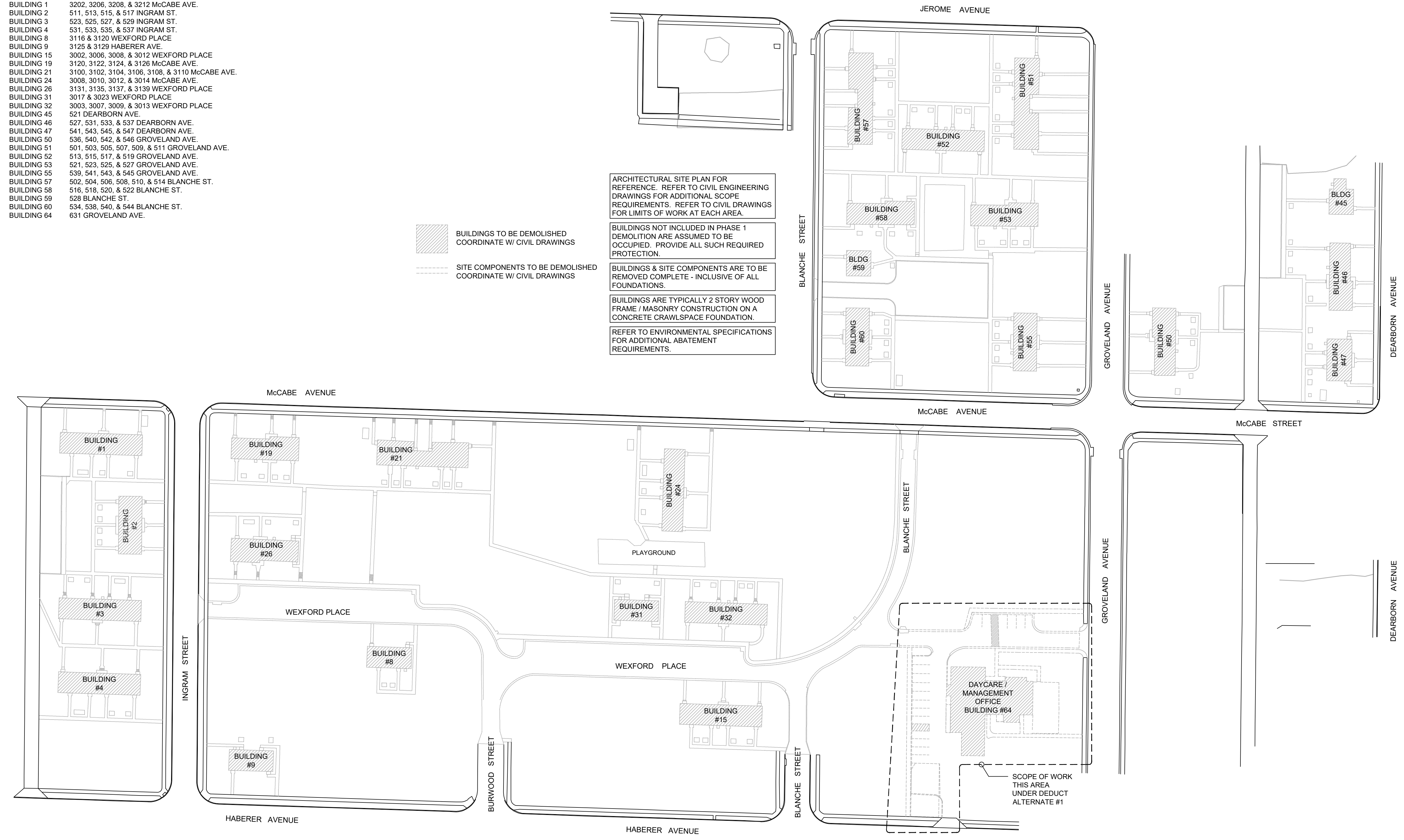
Sheet Title
Existing / Demolition
Architectural Site Plan

Sheet Number

G1.2

BUILDING ADDRESSES

BUILDING 1	3202, 3206, 3208, & 3212 McCABE AVE.
BUILDING 2	511, 513, 515, & 517 INGRAM ST.
BUILDING 3	523, 525, 527, & 529 INGRAM ST.
BUILDING 4	531, 533, 535, & 537 INGRAM ST.
BUILDING 8	3116 & 3120 WEXFORD PLACE
BUILDING 9	3125 & 3129 HABERER AVE.
BUILDING 15	3002, 3006, 3008, & 3012 WEXFORD PLACE
BUILDING 19	3120, 3122, 3124, & 3126 McCABE AVE.
BUILDING 21	3100, 3102, 3104, 3106, 3108, & 3110 McCABE AVE.
BUILDING 24	3008, 3010, 3012, & 3014 McCABE AVE.
BUILDING 26	3131, 3135, 3137, & 3139 WEXFORD PLACE
BUILDING 31	3017 & 3023 WEXFORD PLACE
BUILDING 32	3003, 3007, 3009, & 3013 WEXFORD PLACE
BUILDING 45	521 DEARBORN AVE.
BUILDING 46	527, 531, 533, & 537 DEARBORN AVE.
BUILDING 47	541, 543, 545, & 547 DEARBORN AVE.
BUILDING 50	536, 540, 542, & 546 GROVELAND AVE.
BUILDING 51	501, 503, 505, 507, 509, & 511 GROVELAND AVE.
BUILDING 52	513, 515, 517, & 519 GROVELAND AVE.
BUILDING 53	521, 523, 525, & 527 GROVELAND AVE.
BUILDING 55	539, 541, 543, & 545 GROVELAND AVE.
BUILDING 57	502, 504, 506, 508, 510, & 514 BLANCHE ST.
BUILDING 58	516, 518, 520, & 522 BLANCHE ST.
BUILDING 59	528 BLANCHE ST.
BUILDING 60	534, 538, 540, & 544 BLANCHE ST.
BUILDING 64	631 GROVELAND AVE.



EXISTING / DEMOLITION ARCHITECTURAL SITE PLAN
 SCALE: 1" = 60'-0"
 0 30 60 120



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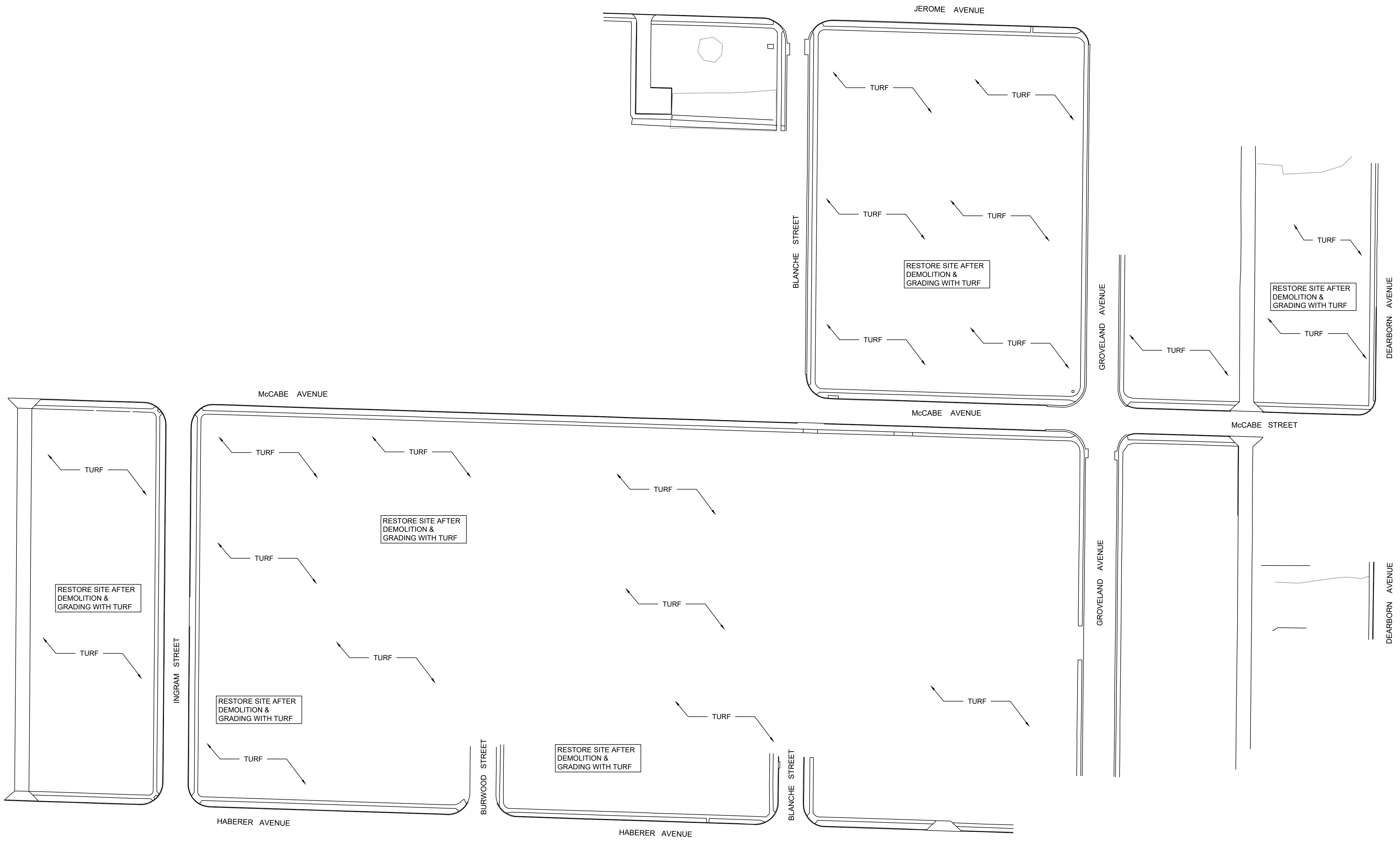
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Project Number	
2024-014	
Date	
August 15, 2024	
Date	Issue
08.08.24	Review Set
08.15.24	Bid Set

Sheet Title
Proposed Architectural Site Plan

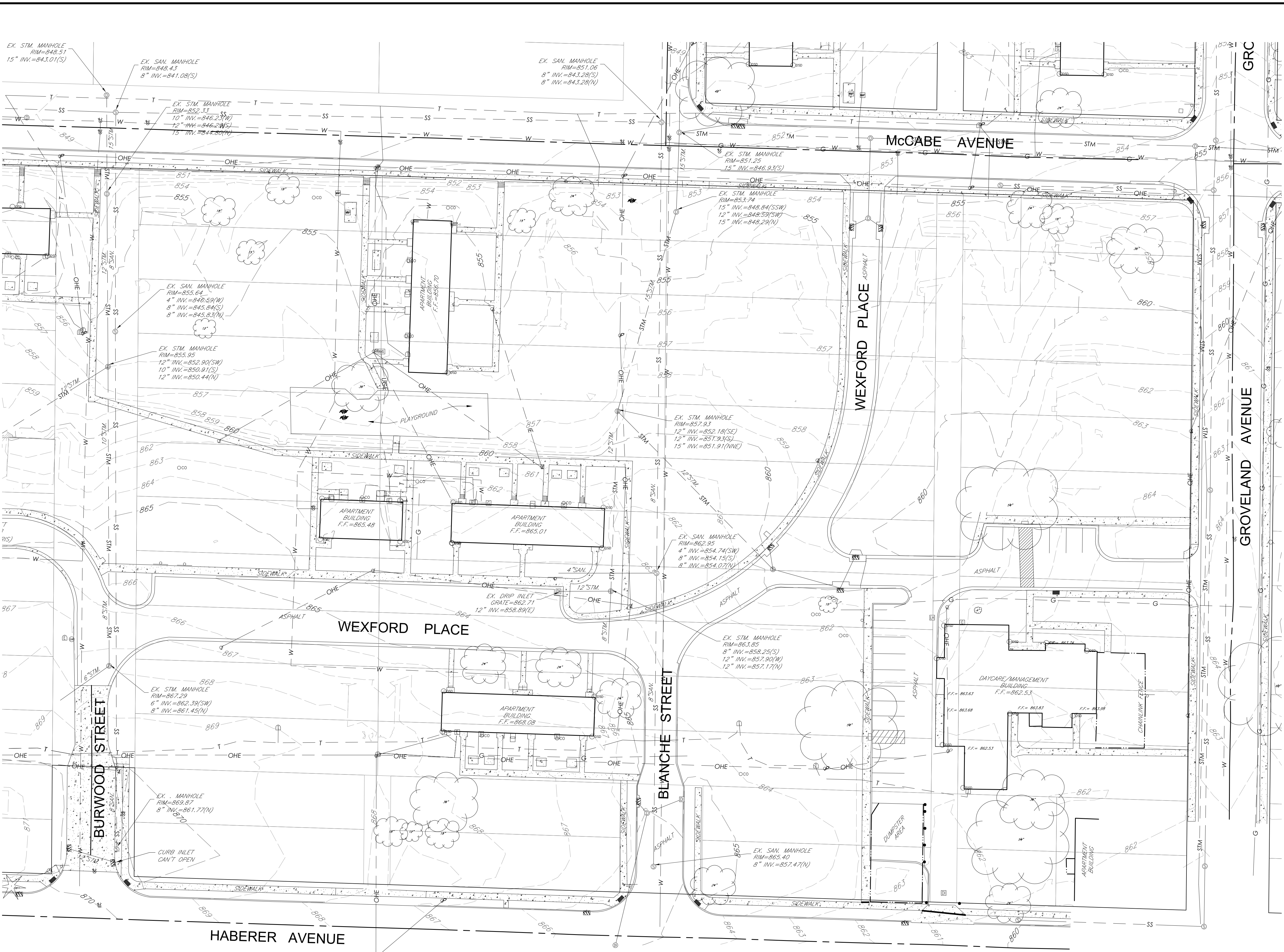
Sheet Number

G1.3



PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"
0 30 60 120
N

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EXISTING CONDITIONS SURVEY NOTES

- 1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering in March 2024.
2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence and private underground utility locations. Underground utility information depicted hereon cannot be guaranteed.
4. This topographic survey is not a boundary survey as defined by the Ohio Administrative Code 4733-37.

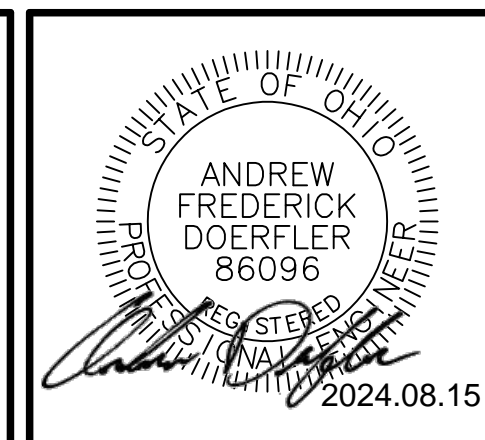
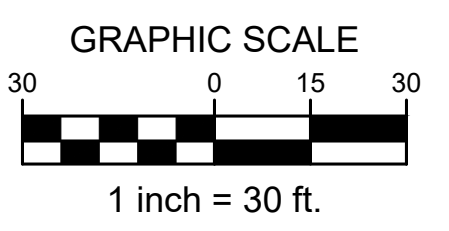
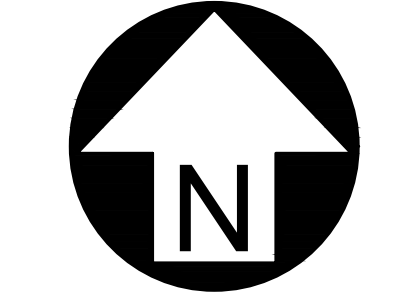


Table with columns: Date, Description, Item. It is currently empty.

HILLTOP HOMES DEMOLITION PHASE 2
McCabe Avenue Area
Dayton, OH
Montgomery County



Project information table: Design: AFD, Proj: 23.205, Draw: AFD, Dwg: , Check: JDB, Tab: , Scale: As Shown, Date: 08.15.2024, Sheet: CENTRAL EXISTING CONDITIONS, Sheet No.: C-1.2



EXISTING LEGEND table listing symbols for Power Pole, GUY ANCHOR, LIGHT POLE, CABLE TV CABINET, ELECTRIC TRANSFORMER, GAS METER, SANITARY CLEANOUT, SANITARY MANHOLE, CURB INLET - WINDOW ONLY, CATCH BASIN, STORM MANHOLE, FIRE HYDRANT, WATER MAIN VALVE, WATER METER PIT, WATER SERVICE VALVE, TRAP DOOR, BOLLARD, TREE W/SIZE, EVERGREEN TREE.

LINE LEGEND table listing line styles for GAS LINE, WATER LINE, TELEPHONE LINE, OVERHEAD ELECTRIC, UNDERGROUND ELECTRIC, STORM SEWER, SANITARY SEWER, EXIST. MAJOR CONTOUR, EXIST. MINOR CONTOUR.



