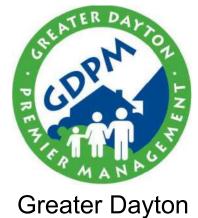
Site Demolition Project at:

Hilltop Homes - Phase 2

631 Groveland Avenue Dayton, Ohio 45417

Greater Dayton Premier Management

<u>OWNER</u>



Premier Management

DESIGN TEAM

ARCHITECT:



CIVIL ENGINEER



.3	PROPOSED ARCHITECTURAL SITE PLAN
0.0	TITLE SHEET
0.1	NOTES
1.0	EAST EXISTING CONDITIONS PLAN
1.1	NORTH EXISTING CONDITIONS PLAN
1.2	CENTRAL EXISTING CONDITIONS PLAN
1.3	WEST EXISTING CONDITIONS PLAN
2.0	EAST DEMOLITION PLAN
2.1	NORTH DEMOLITION PLAN
2.2	CENTRAL DEMOLITION PLAN
2.3	WEST DEMOLITION PLAN
3.0	EAST SITE, GRADING & E&SC PLAN
3.1	NORTH SITE, GRADING & E&SC PLAN
3.2	CENTRAL SITE, GRADING & E&SC PLAN
3.3	WEST SITE, GRADING & E&SC PLAN
4.0	E&SC NOTES & DETAILS
4.1	DETAILS

G1.1

G1.2

ABBREVIATIONS DEGREES

EXTERIOR INSULATION FINISH

EXPANSION JOINT

EQUIPMENT EXISTING EXPANSION

ELEC ELEV EQ ELECTRIC / ELECTRICAL

ELEVATION / ELEVATOR

	DEGREES	FD	FLOOR DRAIN	R / RAD	RADIUS
	PLUS OR MINUS	FDN	FOUNDATION	RA	RETURN AIR
	NOT EQUAL	FE	FIRE EXTINGUISHER	RB	RUBBER BASE
	DIAMETER	FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
		FF		REF	REFRIGERATOR
	ANGLE		FINISH FLOOR		
	CENTERLINE	FIN	FINISH / FINISHED	REINF	REINFORCE
	PROPERTY LINE	FRT	FIRE RETARDANT TREATED	REQ'D	REQUIRED
		FSE	FOOD SERVICE EQUIPMENT	REQ'MT	REQUIREMENT[S]
3V	ABOVE	FTG	FOOTING	REV	REVISION
PΑ	ACCESSIBLE / HANDICAP	FV	FIELD VERIFY	RO	ROUGH OPENING
	ACCESSIBLY / ACCESSIBILITY -			R/W	RIGHT OF WAY
	ANSI ICC-117.1-2009	GA	GAUGE		
F	ABOVE FINISH FLOOR	GALV	GALVANIZED	SALV	SALVAGED
.T	ALTERNATE	GC	GENERAL CONTRACTOR	SF	SQUARE FEET
.UM	ALUMINUM	GYP	GYPSUM	SIM	SIMILAR
PROX	APPOXIMATE	GYP BD	GYPSUM BOARD	SM	SHEET METAL
C		GIF DD	GTF30W BOARD		
C	ACOUSTIC TILE CEILING		HOOF BIRD	SPEC	SPECIFICATION
		HB	HOSE BIBB	SQ	SQUARE
	BETWEEN	HM	HOLLOW METAL	SS	STAINLESS STEEL
KG	BLOCKING	HOR	HORIZONTAL	STD	STANDARD
₹G	BEARING	HT	HEIGHT	STL	STEEL
MT	BASEMENT	HVAC	HEATING, VENTILATION, AIR		
M	BOTTOM		CONDITIONING	Т	TEMPERED
				TBD	TO BE DETERMINED
Р	CAST IN PLACE	INT	INTERIOR	T&B	TOP AND BOTTOM
· 	CONTROL JOINT			T&G	TONGUE AND GROOVE
	CENTERLINE	JB	JUNCTION BOX	T.O.	TOP OF
.G	CEILING	JD	JONOTION BOX	TR	TREATED
		LL	LIVELOAD	TYP	
.R	CLEAR		LIVE LOAD	ITP	TYPICAL
ЛU	CONCRETE MASONRY UNIT	LLH	LONG LEG HORIZONTAL	11540	
)L	COLUMN	LLV	LONG LEG VERTICAL	UFAS	UNIFORM FEDERAL ACCESS
ONC	CONCRETE	LTL	LINTEL		STANDARD
TNC	CONTINUOUS			UNO	UNLESS NOTED OTHERWISE
PT	CARPET	MAX	MAXIMUM	UL	UNDERWRITER'S LABORATO
-	CERAMIC TILE	MECH	MECHANICAL		
		MFR	MANUFACTURER	VB	VAPOR BARRIER
MO	DEMOLISH / DEMOLITION	MIN	MINIMUM	VERT	VERTICAL
	DRINKING FOUNTAIN	MISC	MISCELLANEOUS		
A	DIAMETER	MO	MASONRY OPENING	W/	WITH
M	DIMENSION	MS	METAL STUD	W/O	WITHOUT
V	DIVISION	MTD	MOUNTED	WD	WOOD
v	DEEP	MTL	METAL	W.P.	WORK POINT
		IVIIL	IVIETAL		
-,	DOWNSPOUT	NUC	NOT IN CONTRACT	WRB	WEATHER RESISTIVE BARRI
L	DETAIL	NIC	NOT IN CONTRACT	WWF	WELDED WIRE FABRIC
V	DISHWASHER	NOM	NOMINAL		
VG	DRAWING	NTS	NOT TO SCALE		
١	EACH	OC	ON CENTER		
RO	EMERGENCY ESCAPE & RESCUE	OH	OVERHEAD		
	ODENING	OPG	OPENING		

PRE-ENGINEERED METAL BUILDING

PLATE / PROPERTY LINE PAINTED

QUARRY TILE

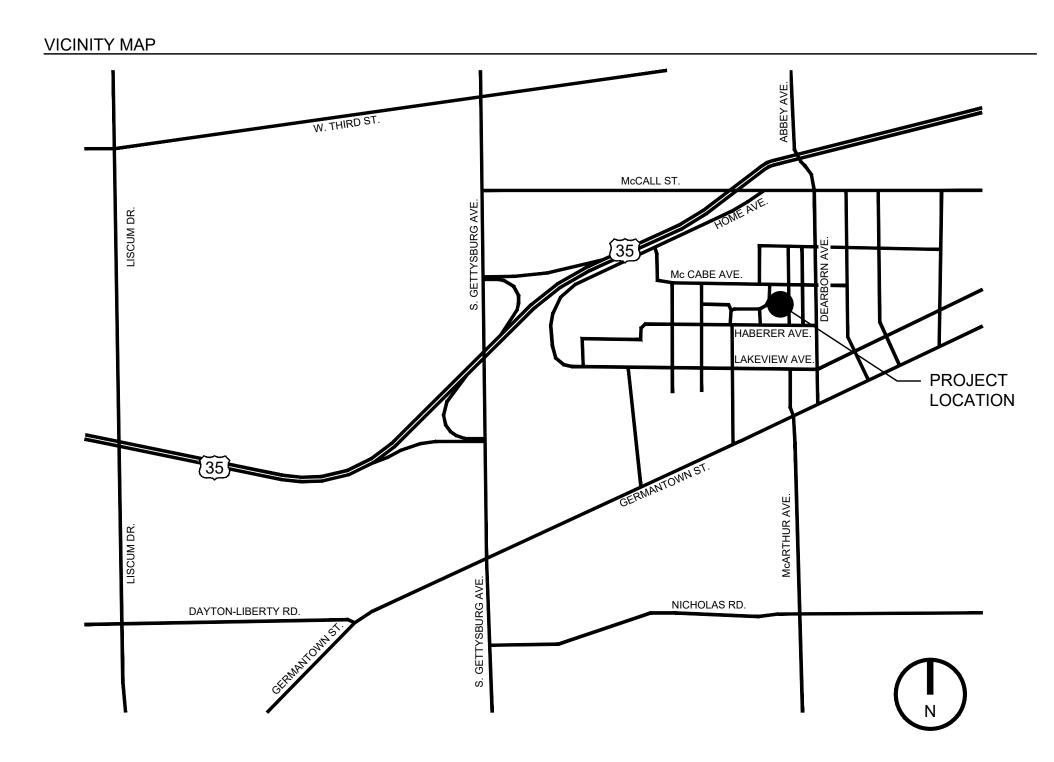
RDA CONTRACT ADMINISTRATION

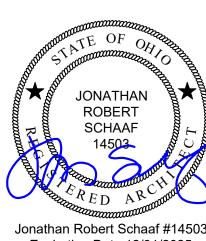
- RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. CONTRACTOR AND CLIENT / OWNER ARE RESPONSIBLE TO COORDINATE THE PROPOSED WORK, SCHEDULES, INSTALLATIONS, PERMITS, INSPECTIONS, ETC.
- CONTACT ARCHITECT FOR CLARIFICATION SHOULD THERE BE QUESTIONS
 REGARDING THE INTERPRETATION OR INTENT OF THE DOCUMENTS, FIELD
 DISCOVERY, ETC. THAT WOULD IMPACT OR AFFECT THE WORK AS PROPOSED.
 RDA IS NOT BE LIABLE FOR DEVIATIONS, FIELD CHANGES, AND CLIENT / OWNER
 CHANGES DURING CONSTRUCTION.
- 3. FIELD CONFIRM ALL EXISTING CONDITIONS, PROPOSED INSTALLATIONS AND HOW THEY INTERFACE TO ENSURE THE SYSTEMS CAN BE INSTALLED PER THE INTENT OF THE DOCUMENTS AND TO MEET APPLICABLE BUILDING AND ZONING CODES, LOCAL REQUIREMENTS, CLIENT / OWNER REQUIREMENTS, ETC.

 4. MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS.
- 4. MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS WHETHER SPECIFICALLY NOTED HEREIN OR NOT. BUILDING CODES REPRESENT THE MINIMUM ACCEPTABLE STANDARD.
- 5. INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS, APPLICABLE MANUFACTURER'S DETAILS AND INSTRUCTIONS, IN ACCORDANCE WITH BEST PRACTICES, AND BUILDING CODE PROVISIONS.

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN 'INSTRUCTION MANUAL' TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY 'TRADES'. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.





Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.

REDA GROUP ARCHITECTS
7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

Demolition Project at:

| Hop Homes | Phase 2 | Groveland Avenue |

Project Number 2024-014 Date

Date Issue
08.08.24 Review Set
08.15.24 Bid Set

August 15, 2024

Sheet Title
Project Title Sheet

Sheet Number

G1.1

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.

© RDA 2024

Date

August 15, 2024

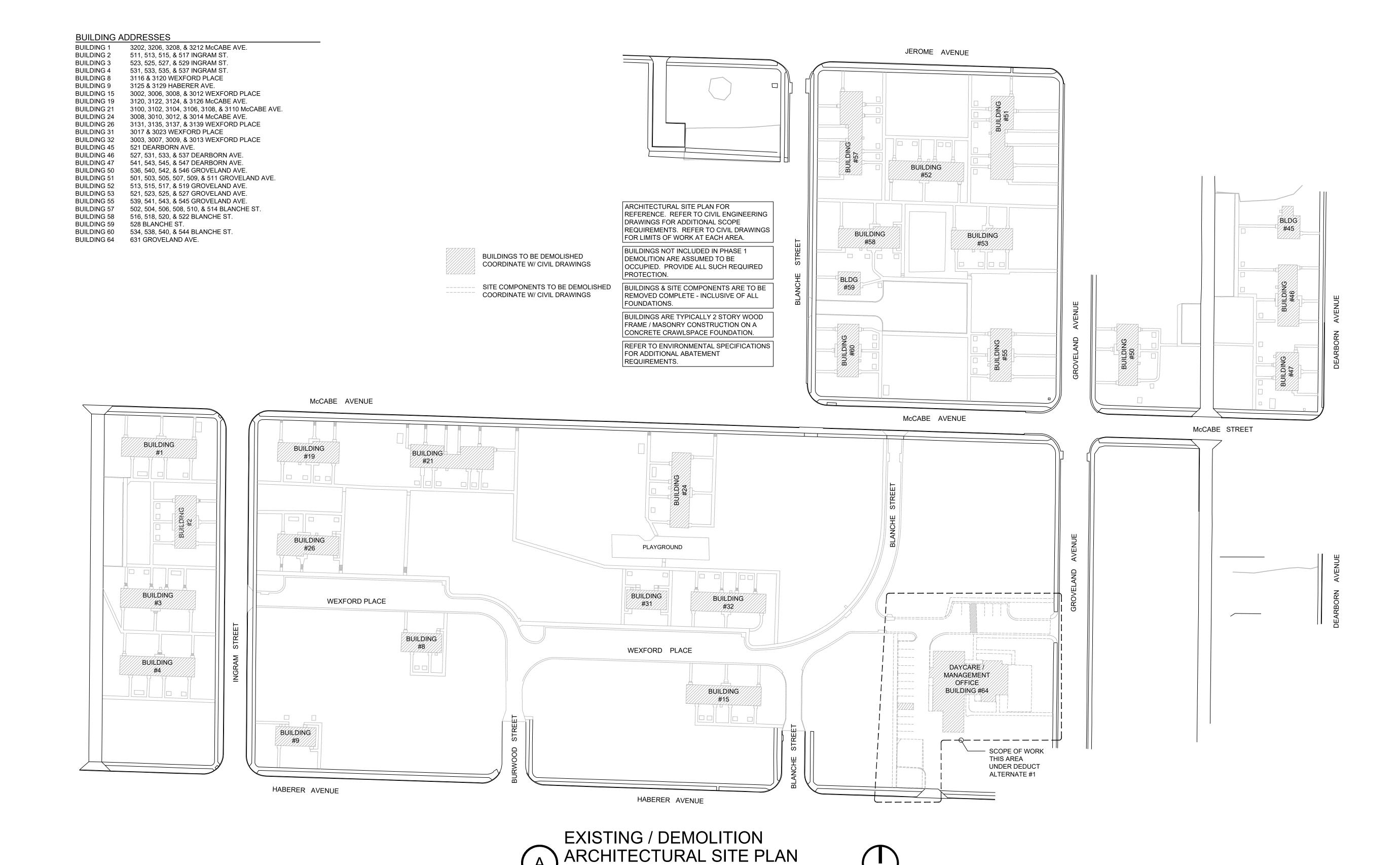
Date Issue 08.08.24 Review Set 08.15.24 Bid Set

Sheet Title
Existing / Demoli

Existing / Demolition Architectural Site Plan

Sheet Number

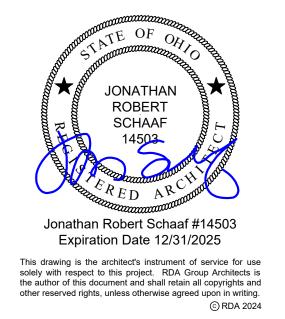
G1.2



0 30 60

SCALE: 1" = 60'-0"

SCALE: 1" = 60'-0"





illtop Homes
Phase 2

Project Number 2024-014 Date

August 15, 2024

Date Issue

08.08.24 Review Set 08.15.24 Bid Set

Sheet Title

Proposed Architectural Site Plan

Sheet Number

G1.3

SITE DEMOLITION PLANS FOR HILLTOP HOMES DEMOLITION PHASE 2

McCABE AVENUE AREA DAYTON, OHIO MONTGOMERY COUNTY

The following are known owners of underground utilities & shall be notified 48 hours prior to construction to field locate said utilities. The contractor shall notify the below utility owners, OUPS (800-362-2764) and directly notify any non-member of OUPS.

SEWER
CITY OF DAYTON
320 W. MONUMENT AVE
DAYTON, OHIO 45402
937-333-3725

GAS
CENTERPOINT ENERGY
6500 CLYO ROAD
DAYTON, OHIO 45459
800-227-1376

CABLE SPECTRUM

2834 MIAMISBURG-CENTERVILLE ROAD DAYTON, OHIO 45459 866-874-2389 WATER
CITY OF DAY

ELECTRIC

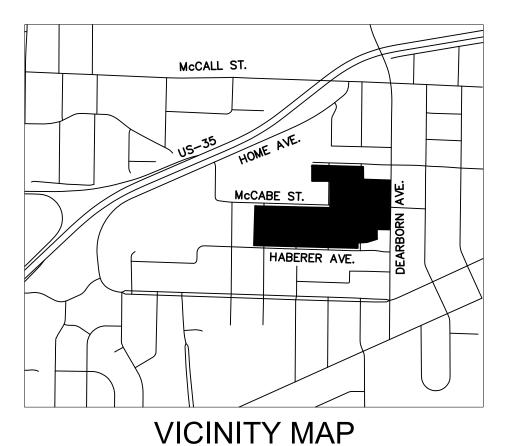
TELEPHONE

CITY OF DAYTON 320 W. MONUMENT AVE DAYTON, OHIO 45402 937-333-3725

AES OHIO
P.O. BOX 1247
DAYTON, OHIO 45401-1247
800-424-5578

AT&T
2427 MIAMISBURG-CENTERVILLE ROAD, SPACE B12

DAYTON, OH 45459 937-439-0394





NOT TO SCALE

DEVELOPMENT / DESIGN TEAM

CIVIL ENGINEER / CONSULTANT
Burkhardt Engineering
Contact: Jonathan Burkhardt
Phone: 937.388.0060
Email: jdburkhardt@burkhardtinc.com

BUILDING DESIGN

RDA Group Architects
Contact: Jonathan Schaaf
Phone: 937.610.3440
Email: jrs@rda-group.com

ROJECT SUMMARY

Project will include the demolition of existing asphalt areas, buildings, curb, sidewalk, utilities and concrete for the purpose of clearing the property.

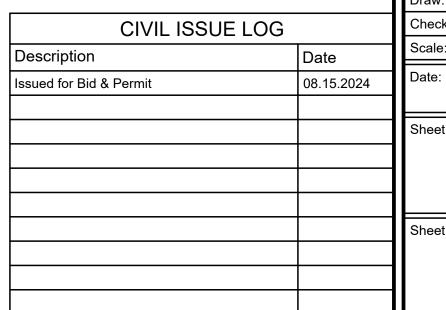
PROPERTY INFORMATION

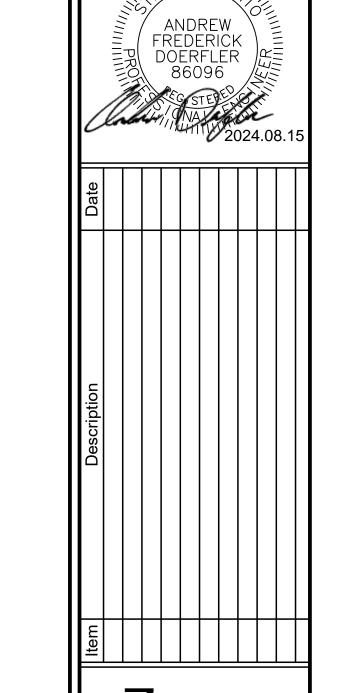
Address: McCabe Avenue Area, Dayton, Ohio
Zoning: EMF - Eclectic Multi-Family District

Flood Zone Designation: FIRM # 39113C0251E, effective date: January 6, 2005.

Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

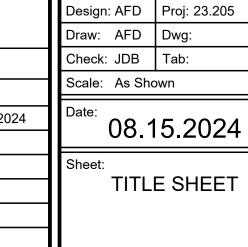
Sheet List Table					
SHEET NUMBER	SHEET TITLE				
C-0.0	TITLE SHEET				
C-0.1	NOTES				
C-1.0	EAST EXISTING CONDITIONS PLAN				
C-1.1	NORTH EXISTING CONDITIONS PLAN				
C-1.2	CENTRAL EXISTING CONDITIONS PLAN				
C-1.3	WEST EXISTING CONDITIONS PLAN				
C-2.0	EAST DEMOLITION PLAN				
C-2.1	NORTH DEMOLITION PLAN				
C-2.2	CENTRAL DEMOLITION PLAN				
C-2.3	WEST DEMOLITION PLAN				
C-3.0	EAST SITE, GRADING & E&SC PLAN				
C-3.1	NORTH SITE, GRADING & E&SC PLAN				
C-3.2	CENTRAL SITE, GRADING & E&SC PLAN				
C-3.3	WEST SITE, GRADING & E&SC PLAN				
C-4.0	E&SC NOTES & DETAILS				
C-4.1	DETAILS				
	<u> </u>				

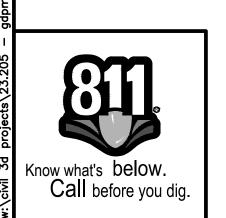




P HOMES DEMOLITION PLANS FOR POSSIBLE DEMOLITION PLANS FOR PASSIBLE AND PRESENTE AREA







GENERAL CONSTRUCTION NOTES

- Site/Civil Specifications: All plans, construction, materials, workmanship, and methods shall be in accordance with the current "Rules and Regulations" of the City of Dayton and the Ohio Department of Transportation Construction and Material Specifications. When in conflict, the City requirements shall prevail.
- Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.
- All sediment and erosion control measures, as shown on Sheets C-3.0 to C-3.3, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and
- North arrow, existing topography, and property lines based on field survey of the subject property prepared by Burkhardt Engineering in March 2024. An ALTA/NSPS Land Title Survey was not performed, survey may not depict any or all easements impacting the subject property.
- Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.
- The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.
- Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.
- The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards
- 10. All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.
- 11. The Contractor shall review all plans prior to construction and immediately report any conflicts and/or discrepancies to the engineer-of-record.
- 12. All work within public rights-of-way shall be in accordance with the City of Dayton rules, specifications, and regulations.
- 13. Do not interrupt utility service of any kind to any building scheduled to remain. Any interruptions to service will be immediately restored by the contractor at his expense.
- 14. Do not remove shared walks if any buildings remain have direct access.
- 15. All trees within demolition areas shall remain in place unless damage is unavoidable due to demolition activities. Contact architect and Owner prior to demolition activities, as necessary to determine viability of tree protection.
- 16. Any damaged sidewalks or curbs shall be restored at contractor's expense.
- 17. All work shall be performed in accordance with applicable federal, state, and local building
- 18. The contractor shall maintain a neat and orderly work and storage area. OSHA safety requirements shall be implemented and enforced by the contractor. Daily cleanup of all work areas is mandatory.
- 19. Barricades and/or fencing shall be installed by the contractor to protect the public, owner's personnel, and adjacent property from demolition operations.
- 20. Provide and install an 8'-0" temporary chain link fence around the construction site for each building or group of buildings. Refer to specifications for fence description. The contractor shall be responsible for maintaining this fence and for any damage done to the fence during the project. The contractor shall repair damage to the fence immediately upon discovery at no additional cost to the owner. The fencing shall be removed at the conclusion of the project. Provide a 20' wide lockable gate for each area.
- The contractor shall carefully study and compare drawings and other contract documents. The contractor shall take field measurements and observe conditions of the work related to the contract documents. The architect should be notified promptly of any design errors, omissions, or inconsistencies for clarification and coordination before proceeding with the work. This is particularly critical for renovation work where field conditions may vary from
- 22. The general contractor shall be responsible for contacting coordinating and paying all required fees to all utilities and others affected by the work (ie: AES, Centerpoint Energy, Charter Communications, AT&T, ADT, City of Dayton Department of Water, City of Dayton Public Works Department, etc.)
- 23. All site utilities designated to be removed shall be removed as indicated. Terminate per city of Dayton standards and utility company standards.
- 4. All storm sewer curb inlets, catch basins, manholes and storm water piping to remain unless noted otherwise. The contractor shall take measures to protect storm sewers and associated components to remain from damage. The contractor shall repair all damage done to the storm sewers and associated components during work at no additional cost to
- 25. All sanitary sewers, manholes and underground piping to remain unless noted otherwise. The contractor shall protect existing sanitary sewer structures including manholes and underground piping from damage during work. All damage to the existing sanitary sewers and associated sanitary sewer structures done during work shall be repaired by the contractor at no additional cost to the owner.
- 6. The contractor shall note the locations of all existing site utilities to remain and take measures to protect them from damage. All damage to existing site utilities to remain done during work shall be repaired by the contractor at no additional cost to the owner.
- 27. The contractor shall take measures to protect all trees and vegetation to remain. Reseed all grass areas disturbed because of the demolition activities as shown.

28. If hazardous materials are encountered, including asbestos, the contractor shall notify the architect and the owner immediately upon discovery. The contractor is responsible for removing all hazardous material per plans and specifications.

- 29. All items to remain shall be protected from damage during work. All items damaged during work shall be repaired by the contractor at no additional cost to the owner.
- 30. All existing utility poles, including power poles and light poles, shall remain unless their sole purpose was to service the building to be demolished. Contact architect or utility company if questions arise regarding pole removal. The contractor shall protect the existing poles from damage during work. Damage done to the poles and light fixtures during work shall be repaired by the contractor at no additional cost to the owner.
- 31. The contractor shall protect all existing concrete curbs, curb cuts and sidewalks designated to remain in the right of way from damage during the course of work. All damage done to curbs, curb cuts and sidewalks shall be repaired by the contractor at no additional cost to
- 32. Dust control plan: the contractor shall use water mist to control dust. The contractor shall pay for water usage during the project. The contractor shall coordinate with the city of Dayton for metering and payment of water used.
- 33. The contractor shall always be responsible for site security during the project. This includes maintaining the temporary fence and securing the site when work is not being performed.
- 34. All existing street signage adjacent to the roadways and within the right of way shall remain unless otherwise indicated.
- 35. Existing building drawings are available for review at the office of the architect.
- 36. The contractor shall include in their base bid price the provision and placement of all cubic yards of approved fill required.
- 37. All surveying for the demolition and construction on this project to be by or under the direction of a registered surveyor licensed for the state of Ohio & all as-built information shall be provided by the registered surveyor & sealed as required. All layout information shall be taken from non-electronic data, sealed, project construction plans only.
- 38. All existing utilities indicated as (to be abandoned in place) shall remain active until use is no longer required
- 39. All existing pavement (that is to remain) which is removed during existing utility removal shall be replaced in kind prior to final surface course application.
- 40. The contractor shall conform to the general notes specifications for any additional information not covered in the demolition plans.
- 41. The demolition contractor shall vacate the site at the conclusion of the project and leave the project area in a clean and usable condition. Remove all miscellaneous trash and debris prior to vacating site.
- 42. The contractor shall immediately remove all debris, mud and silt tracked onto adjacent streets. The contractor shall hose down all trucks prior to leaving the site to prevent mud from accumulating or depositing on streets/public areas
- 43. Contractor to provide as-built information for the cap/plug of the existing water, sanitary, and storm. As-built information to include depth from top of structure and location with as-built pictures.
- 44. For buildings to be demolished, remove all utilities (sewer, electric, water, cable TV, gas, telephone, etc.) back to point where line is still to remain active or to the street right of way line - cut and cap as necessary. No abandoned utility lines shall remain above or below ground. In lieu of removal of existing utility, contractor can abandon in place by filling with flowable fill if approved by City of Dayton. See detail sheet C-4.1. Restore and compact back. For typical trench detail see sheet C-4.1.
- 45. Determine where demolition may affect structural integrity of adjacent buildings. Identify measures required to protect buildings from damage. If at any time the demolition of buildings compromises the adjacent buildings stop immediately and contact the architect
- 46. All demolition work within 10' of buildings to remain shall be by hand. No large machinery shall be used in this area.
- 47. Demolition and backfill rough grading work shall be completed in each section before work starts on another section. A section is defined by the construction limits fencing.

48. Where fill is required from building removal, backfill to be native fill material conforming to

ODOT 203.02R and 703.16. Material shall be placed at 90% standard proctor and 49. All grading shown where fill is required shall be native fill material conforming to ODOT 203.02R and 703.16. Material shall be placed at 90% standard proctor and compacted in

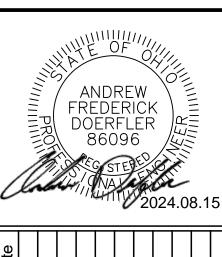
lifts unless noted otherwise.

GENERAL DEMOLITION NOTES

- 1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
- 2. All items noted to be removed shall be done as part of the contract for general
- 3. Remove and dispose of any materials requiring removal from the work area in an
- 4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as
- The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
- For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
- The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
- Limits of removal and sawcut lines shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
- 9. All demolition and grading activities shall be in accordance with ODOT 201 Clearing and Grubbing, ODOT 202 - Removal of Structures & Obstructions and ODOT 203 - Roadway Excavation & Embankment:
- 10. Remove all buildings, limits indicated, including but not limited to existing multi-storied masonry and reinforced concrete buildings complete including but not limited to poured concrete foundations, footings, foundation walls, sub basements, basements, concrete steps, rails, overhangs, perimeter piping & drains, underground mechanical tunnels, chases, and external wall mounted light fixtures.
- 11. Remove existing asphalt pavement (limits indicated) completely including sub-base materials and bumper block.
- 12. Remove existing concrete/asphalt walks, walk & curb combination, islands & pads (as noted) including foundations & base material below.
- 13. Contractor shall contact AES and owner. The contractor shall coordinate and ensure that AES shall disconnect and terminate existing primary electric service and abandon in place. AES to remove transformer completely. Contractor shall coordinate with AES and owner prior to de-energizing electrical service. Remove existing power poles that are only servicing the building to be removed.
- 14. Match all existing curb and walk when repairing curb and walk that was broken or damaged during demolition. Contact the architect where existing conditions do not match the detail. For repair of concrete curb where concrete walk abuts, use 1/2" expansion joint between curb and walk.
- 15. Coordinate all utility removal with utility owners (AES Ohio, Centerpoint Energy, the City of Dayton, etc.) and applicable governmental regulators.
- 16. Existing underground utilities & services are shown in their approximate locations. Locations shown are intended only as a guide & cannot be guaranteed accurate. The contractor shall be responsible for:
- A. Contacting all utility owners ten days prior to construction & advising them of the work to take place.
- Soliciting their aid in locating & protecting any utility which may interfere with
- C. Excavating & verifying the horizontal & vertical location of each utility prior to
- D. All damage to any existing utility.
- 17. All downspout collection systems denoted to be removed shall be completely disconnected from the building structure to the respective downstream storm main/structure. Any downspout collection system that terminates under pavement that is to remain shall be plugged/capped at the nearest edge of pavement location. For pipes that are 8" or larger in diameter, the plug shall be in accordance with the plug detail shown on sheet C-4.1. For pipes smaller than 8" in diameter, use the appropriate PVC fittings.
- 18. Contractor to contact Chris Holmes (937-333-3725) at the City of Dayton Department of Water to set up work orders for cut and plugs of water, sanitary, and storm sewer utilities.

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

- 1. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
- 2. The Contractor shall be responsible for the import of structural fill materials conforming to ODOT 203.02R, 703.16B and 703.16C for granular embankment/material types if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
- 3. The Contractor shall provide construction dewatering as necessary to complete demolition
- 4. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
- 5. The Contractor shall provide positive drainage in all areas and away from all buildings.
- 6. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise
- 7. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
- 8. Following grading of subsoil to subgrade elevations, the Contractor shall provide 6" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
- 9. Final grading will be done to match existing surrounding surface and will drain as indicated on the grading plan. Regrade site as required to allow positive drainage to catch basins and no ponding water.
- 10. Any disturbed area and grading as shown shall have minimum 6" topsoil & seeded & mulch per ODOT Item 659.09 Class I.
- 11. New grading intended to connect existing slopes on either side of buildings to be demolished.



PLANS FOR DEMOLITION

PHASI

HOME

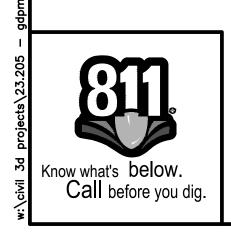
 \Box

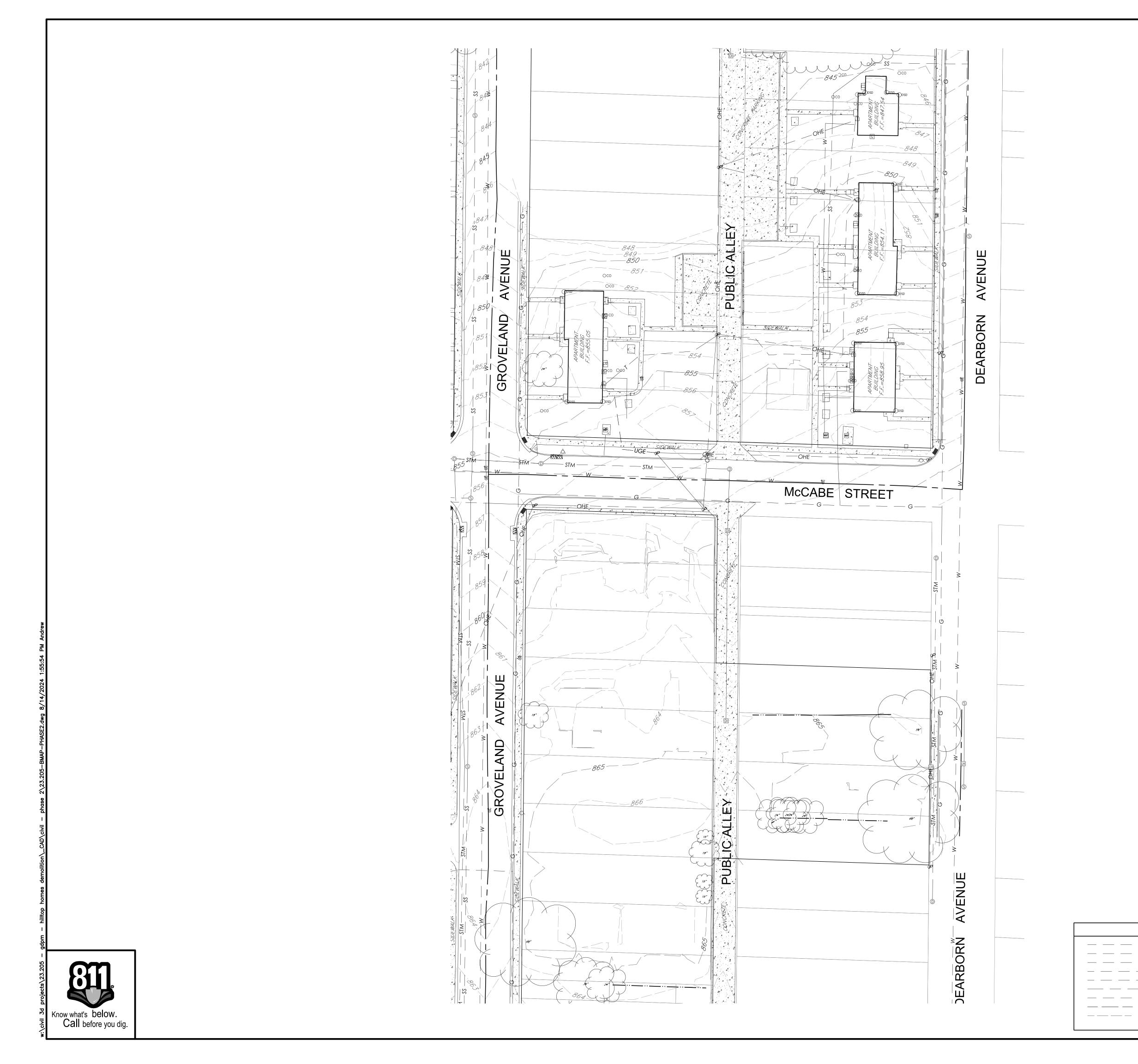


Design: AFD | Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab: Scale: As Shown

08.15.2024

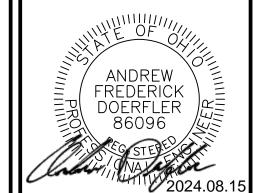
NOTES





EXISTING CONDITIONS SURVEY NOTES

- 1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering in March
- 2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
- 3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence and private underground utility locations. Underground utility information depicted hereon cannot be guaranteed.
- 4. This topographic survey is not a boundary survey as defined by the Ohio Administrative Code 4733-37.



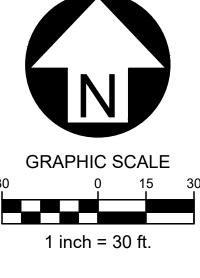
|| S| || O

Design: AFD Proj: 23.205 Draw: AFD Dwg:

Check: JDB Tab: Scale: As Shown

08.15.2024

EAST EXISTING CONDITIONS



EXISTING LEGEND

P POWER POLE GUY ANCHOR

G GAS METER

CATCH BASIN

© CATCH BASIN

STORM MANHOLE FIRE HYDRANT

₩ WATER MAIN VALVE

₩ WATER SERVICE VALVE

WATER METER PIT

TREE W/SIZE

EVERGREEN TREE

TRAP DOORBOLLARD

© CABLE TV CABINET

TELEPHONE CABINET

○○ SANITARY CLEANOUT

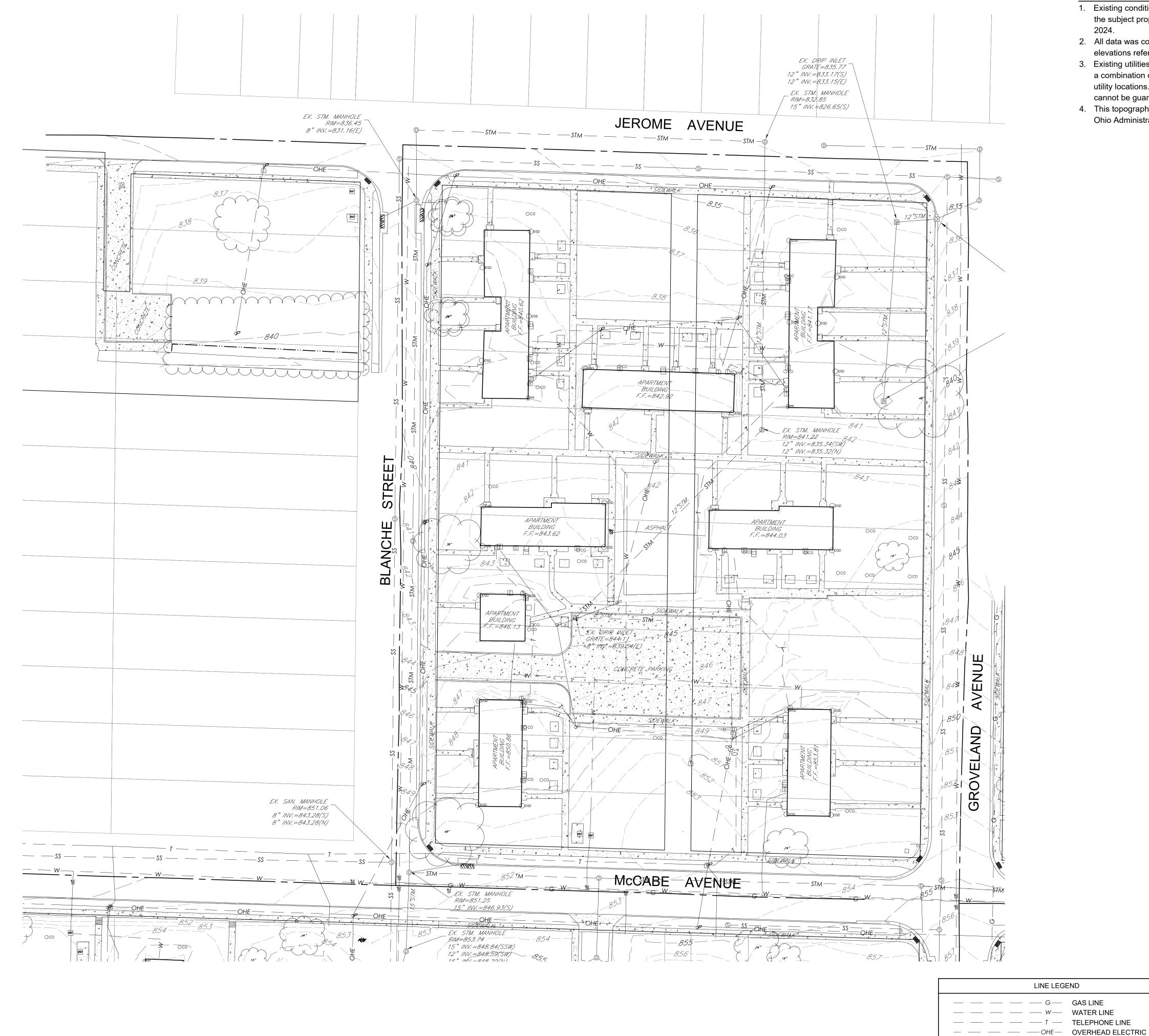
SANITARY MANHOLE

TRANS ELECTRIC TRANSFORMER

CURB INLET - WINDOW ONLY

LINE LEGEND — G— GAS LINE → 7 → TELEPHONE LINE OHE— OVERHEAD ELECTRIC STORM SEWER

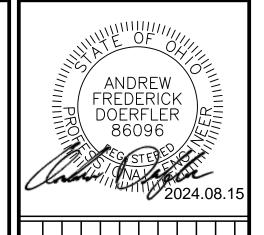
— — EXIST. MAJOR CONTOUR — EXIST. MINOR CONTOUR



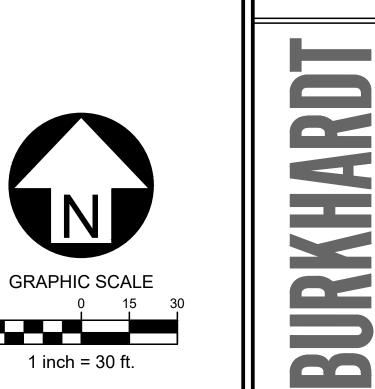
Know what's below.
Call before you dig.

EXISTING CONDITIONS SURVEY NOTES

- 1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering in March
- 2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
- 3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence and private underground utility locations. Underground utility information depicted hereon cannot be guaranteed.
- 4. This topographic survey is not a boundary survey as defined by the Ohio Administrative Code 4733-37.



E DEMOLITION PLANS FOR HOMES DEMOLITION



EXISTING LEGEND

- POWER POLE GUY ANCHOR
- © CABLE TV CABINET
- G GAS METER
- oco SANITARY CLEANOUT SANITARY MANHOLE
- CATCH BASIN

- STM ---- STORM SEWER

—— — EXIST. MAJOR CONTOUR

— — EXIST. MINOR CONTOUR

— SS — SANITARY SEWER

- ① CATCH BASIN STORM MANHOLE FIRE HYDRANT
- ₩ WATER MAIN VALVE ■ WATER METER PIT ₩ WATER SERVICE VALVE
- ☐ TRAP DOOR BOLLARD
- TREE W/SIZE EVERGREEN TREE

NORTH EXISTING CONDITIONS

Design: AFD Proj: 23.205

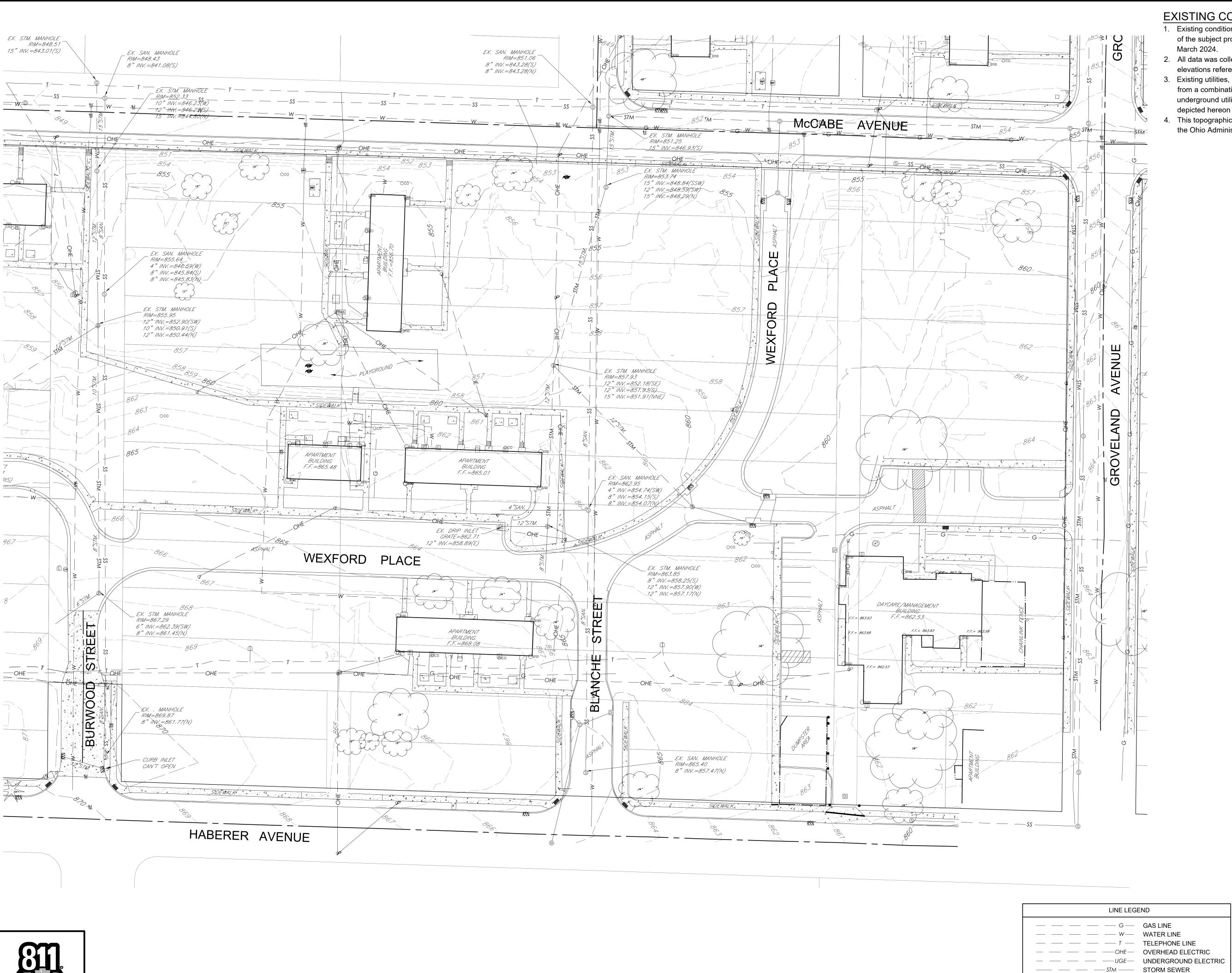
TELEPHONE CABINET TRANS ELECTRIC TRANSFORMER

Draw: AFD Dwg: Check: JDB Tab: Scale: As Shown CURB INLET - WINDOW ONLY

08.15.2024

Sheet No.:

6-1.

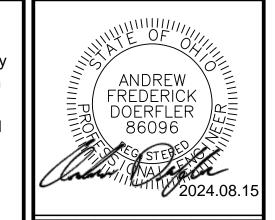


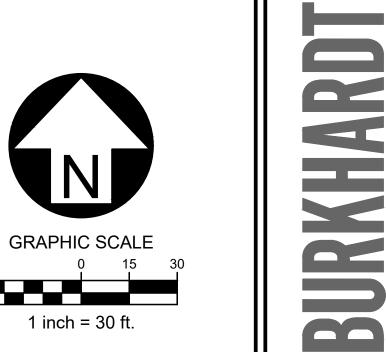
Know what's below.

Call before you dig.

EXISTING CONDITIONS SURVEY NOTES

- 1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering in
 - 2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
- 3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence and private underground utility locations. Underground utility information depicted hereon cannot be guaranteed.
- This topographic survey is not a boundary survey as defined by the Ohio Administrative Code 4733-37.





EXISTING LEGEND

1 inch = 30 ft.

- P POWER POLE
- GUY ANCHOR ✓ LIGHT POLE
- © CABLE TV CABINET **TELEPHONE CABINET**
- TRANS ELECTRIC TRANSFORMER G GAS METER
- ○○ SANITARY CLEANOUT S SANITARY MANHOLE
- CURB INLET WINDOW ONLY
- CATCH BASIN © CATCH BASIN

BOLLARD

(12) TREE W/SIZE

EVERGREEN TREE

— SS — SANITARY SEWER

---- EXIST. MAJOR CONTOUR

— — EXIST. MINOR CONTOUR

- STORM MANHOLE
- FIRE HYDRANT ★ WATER MAIN VALVE WATER METER PIT
- **WATER SERVICE VALVE** ☐ TRAP DOOR

Design: AFD | Proj: 23.205

08.15.2024

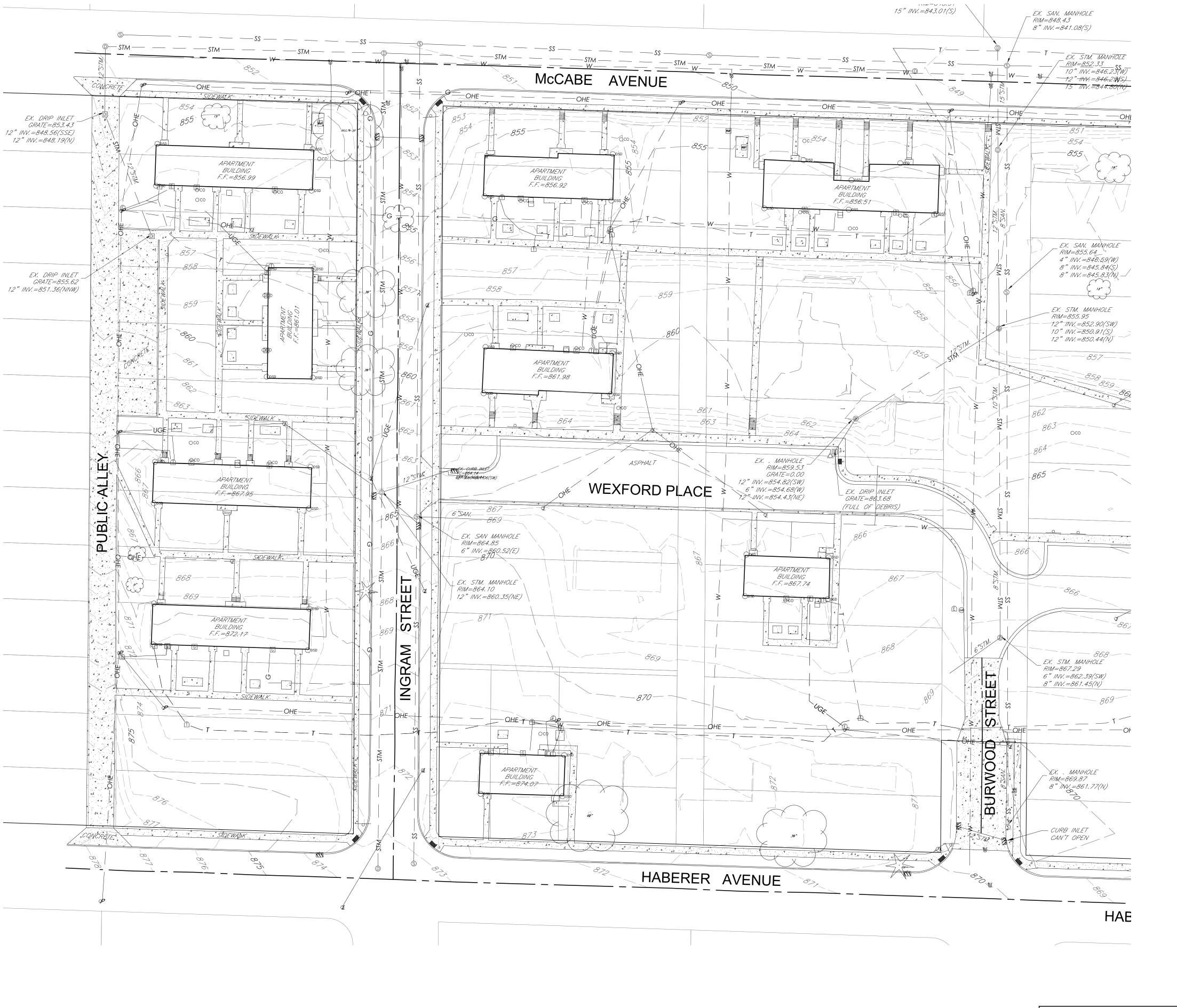
CENTRAL EXISTING

CONDITIONS

Draw: AFD Dwg:

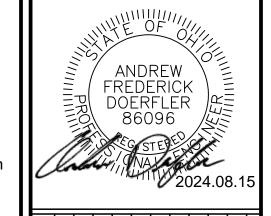
Check: JDB Tab:

Scale: As Shown



EXISTING CONDITIONS SURVEY NOTES

- 1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering in March
- 2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
- 3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence and private underground utility locations. Underground utility information depicted hereon cannot be guaranteed.
- 4. This topographic survey is not a boundary survey as defined by the Ohio Administrative Code 4733-37.



HOMES DEMOLITION
PLANS FOR
HOMES DEMOLITION
PHASE 2



Design: AFD Proj: 23.205 Oraw: AFD Dwg: Check: JDB Tab:

Scale: As Shown

08.15.2024

WEST EXISTING CONDITIONS

Sheet No.:

EXISTING LEGEND

GRAPHIC SCALE

1 inch = 30 ft.

P POWER POLE GUY ANCHOR ✓ LIGHT POLE © CABLE TV CABINET TELEPHONE CABINET TRANS ELECTRIC TRANSFORMER **G** GAS METER

○□ SANITARY CLEANOUT © SANITARY MANHOLE CURB INLET - WINDOW ONLY CATCH BASIN ① CATCH BASIN STORM MANHOLE

FIRE HYDRANT ₩ WATER MAIN VALVE OHE— OVERHEAD ELECTRIC W WATER METER PIT −*UGE* — UNDERGROUND ELECTRIC ₩ WATER SERVICE VALVE ☐ TRAP DOOR BOLLARD

EVERGREEN TREE

(12) TREE W/SIZE

LINE LEGEND

— T — TELEPHONE LINE

—— STM —— STORM SEWER

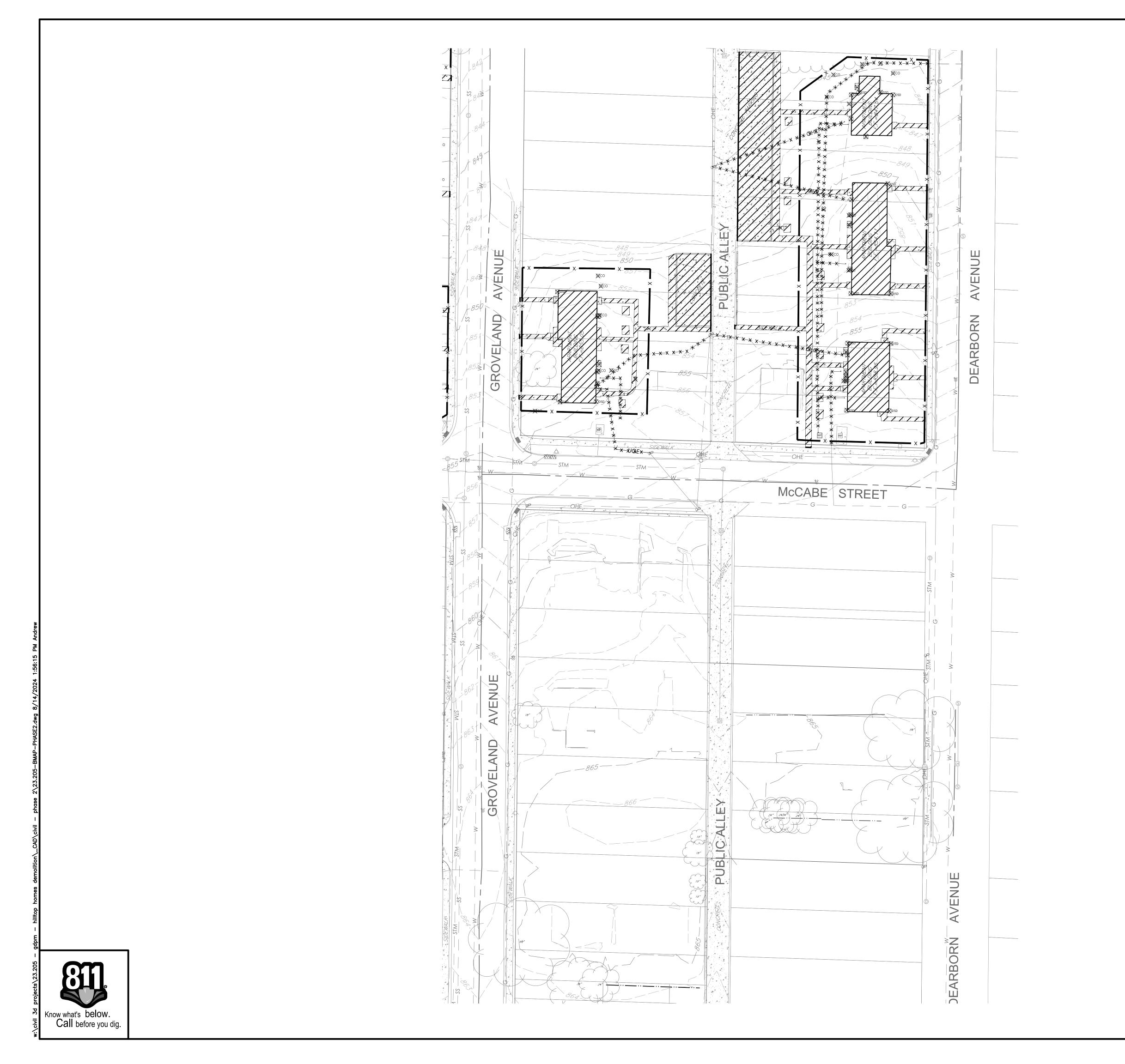
— SANITARY SEWER

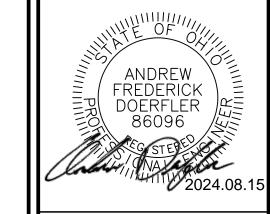
—— EXIST. MAJOR CONTOUR

— — EXIST. MINOR CONTOUR

— — G— GAS LINE







Description Date

SITE DEMOLITION PLANS FOR ILLTOP HOMES DEMOLITIO
PHASE 2



DEMO LEGEND

Design: AFD Proj: 23.205

GRAPHIC SCALE
0 15

1 inch = 30 ft.

TO BE REMOVED BUILDING, SIDEWALK, CURBS AND PAVEMENT

SAWCUT EX. PAVEMENT

××××× ABANDON/REMOVE UTILITY LINE

ABANDON/REMOVE UTILITY STRUCTURE/EQUIPMENT

PROPOSED DEMOLITION FENCE
- SEE GENERAL CONSTRUCTION NOTE NO. 20 ON SHEET C-0.1 FOR FENCE TYPE AND SIZE

Check: JDB Tab:
Scale: As Shown

Date:

08 15 2024

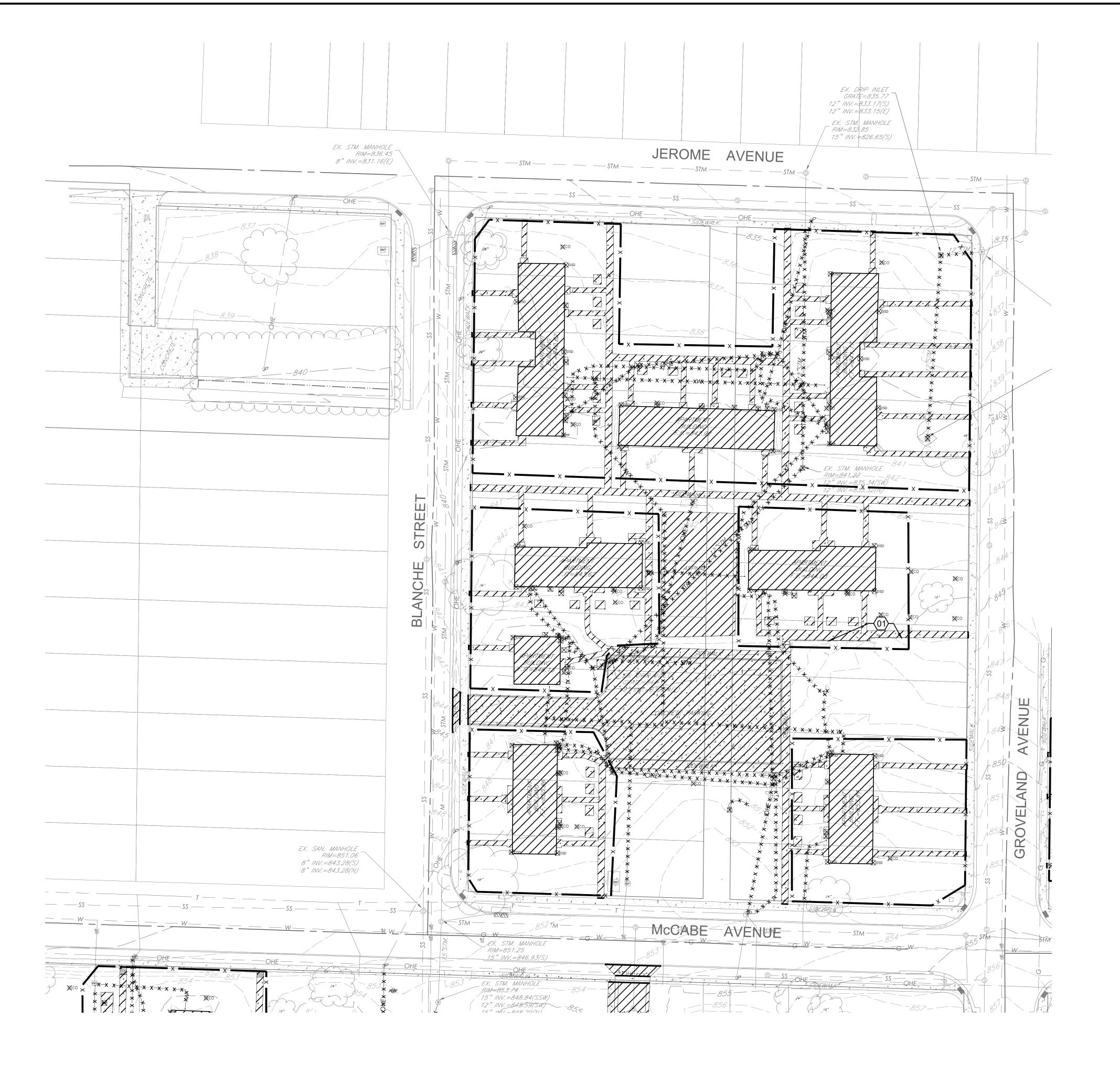
Draw: AFD Dwg:

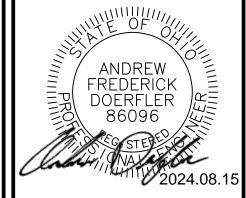
08.15.2024

Sheet:
EAST DEMOLITION
PLAN

Sheet No.:

C-2.0





Description Date

SITE DEMOLITION PLANS FOR TOP HOMES DEMOLITION PLANS FOR PHASE 2



Design: AFD Proj: 23.205
Draw: AFD Dwg:
Check: JDB Tab:

Scale: As Shown

Date:

08 15 202

08.15.2024

Sheet:
NORTH DEMOLITION
PLAN

Sheet No.:

C-2.1



1 inch = 30 ft.

TO BE REMOVED BUILDING, SIDEWALK, CURBS AND PAVEMENT

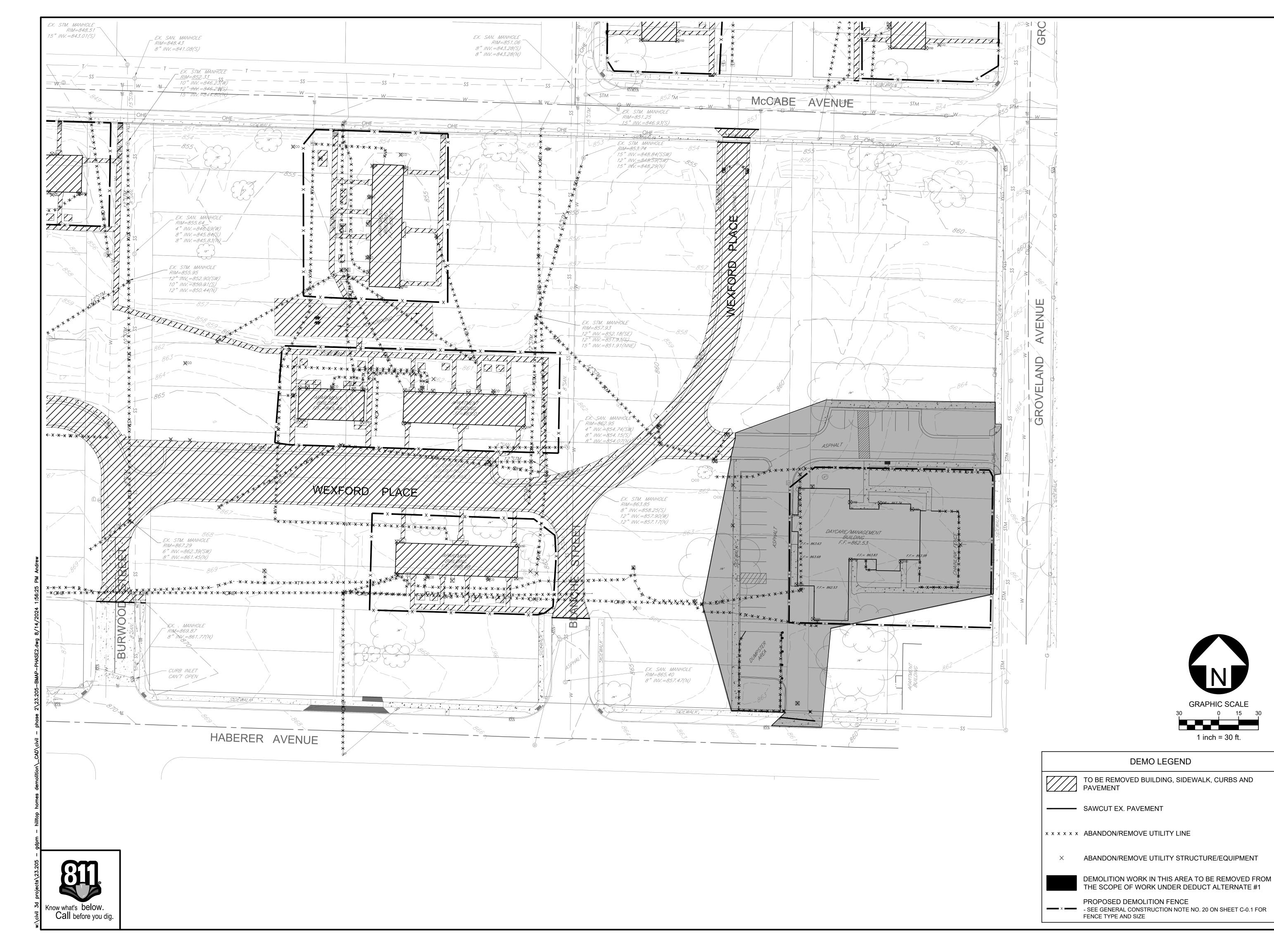
SAWCUT EX. PAVEMENT

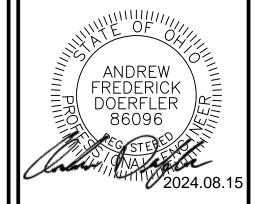
x x x x x x ABANDON/REMOVE UTILITY LINE

ABANDON/REMOVE UTILITY STRUCTURE/EQUIPMENT

PROPOSED DEMOLITION FENCE
- SEE GENERAL CONSTRUCTION NOTE NO. 20 ON SHEET C-0.1 FOR FENCE TYPE AND SIZE







TOP.

Design: AFD Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab:

Scale: As Shown

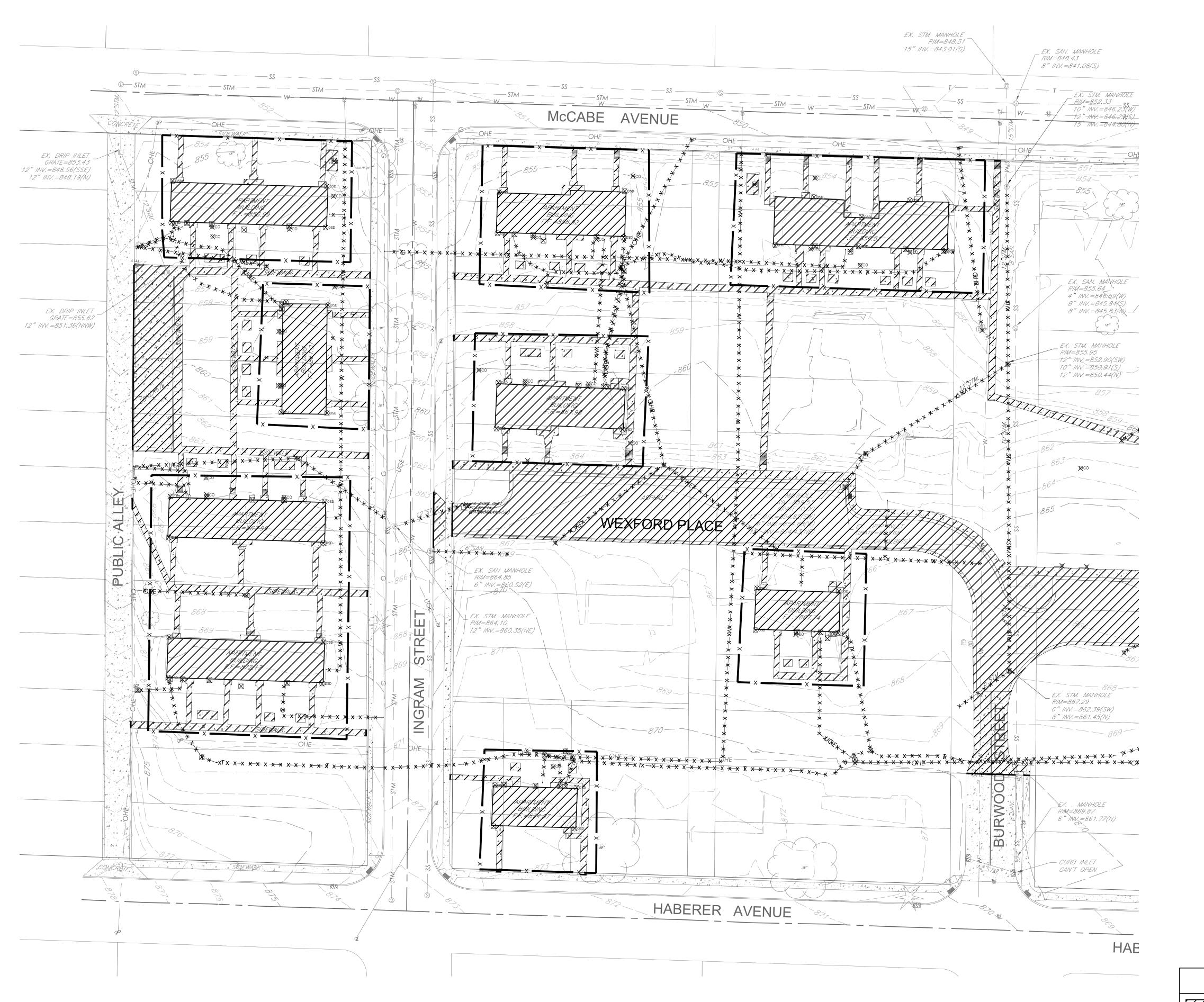
08.15.2024

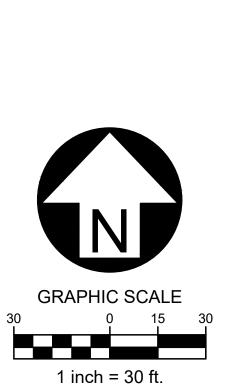
CENTRAL **DEMOLITION PLAN**

Sheet No.:

1 inch = 30 ft.

C-2.2





DEMO LEGEND

TO BE REMOVED BUILDING, SIDEWALK, CURBS AND PAVEMENT

SAWCUT EX. PAVEMENT

x x x x x x ABANDON/REMOVE UTILITY LINE

ABANDON/REMOVE UTILITY STRUCTURE/EQUIPMENT

PROPOSED DEMOLITION FENCE - SEE GENERAL CONSTRUCTION NOTE NO. 20 ON SHEET C-0.1 FOR FENCE TYPE AND SIZE

|| SI |



Design: AFD | Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab:

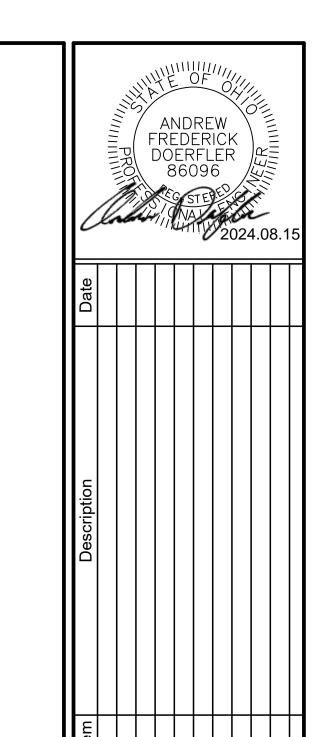
Scale: As Shown

08.15.2024

WEST DEMOLITION PLAN







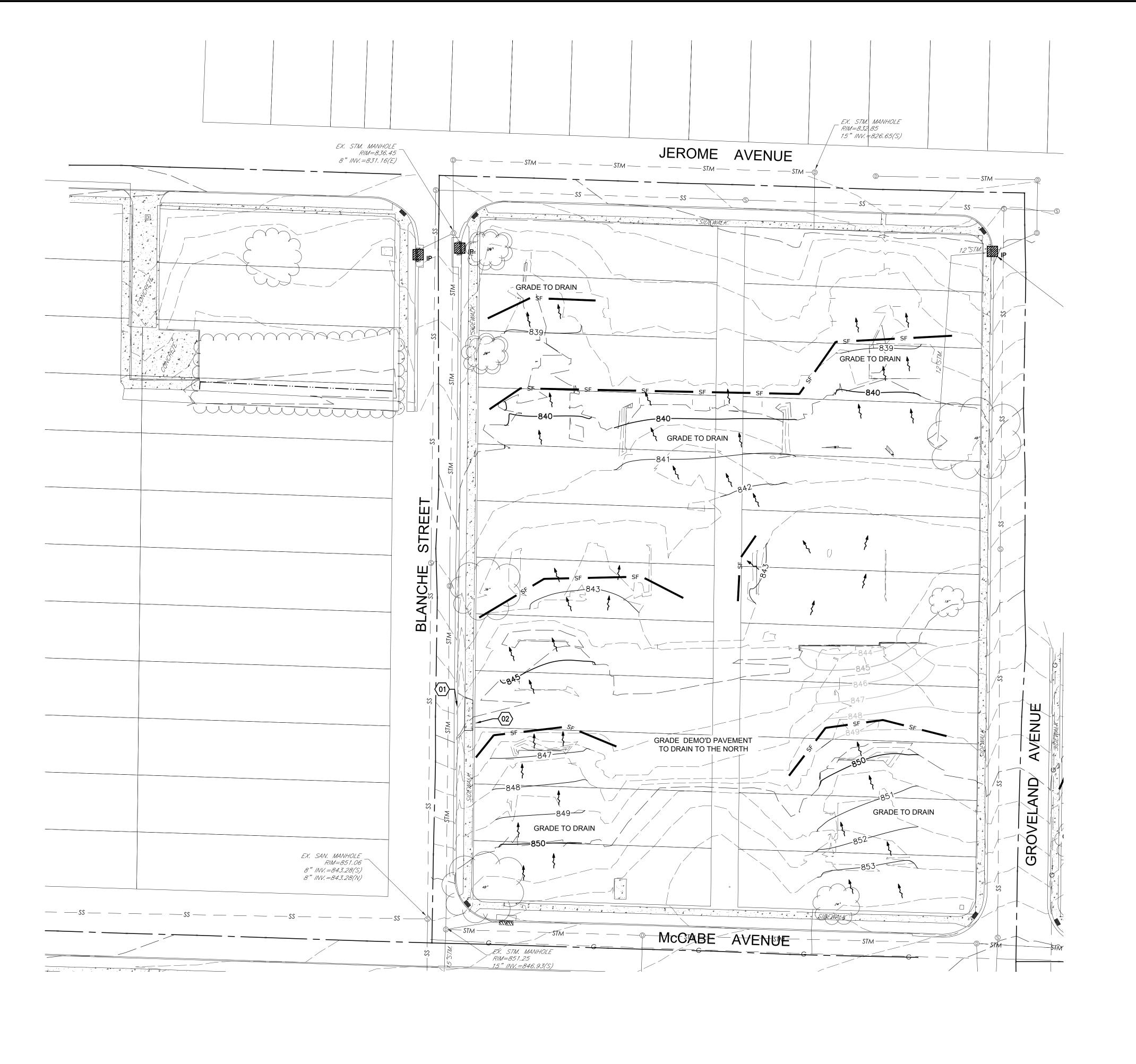
SIT HILLTOP

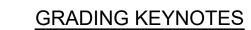


Design: AFD | Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab: Scale: As Shown 08.15.2024

1 inch = 30 ft.

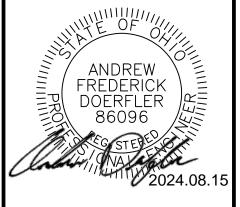
EAST SITE, GRADING & E&SC PLAN





PROP. CURB
- SEE DETAIL ON SHEET C-4.1

O2 PROP. SIDEWALK
- SEE DETAIL ON SHEET C-4.1



SIT HILLTOP



Design: AFD Proj: 23.205

Draw: AFD Dwg:

Check: JDB Tab: Scale: As Shown

GRADING LEGEND

1 inch = 30 ft.

——— 1000 ——— PROP. CONTOUR - INDEX PROP. CONTOUR - INTERMEDIATE — — 1000 — EX. CONTOUR - INDEX

SF SILT FENCE

FLOW ARROW

INLET PROTECTION

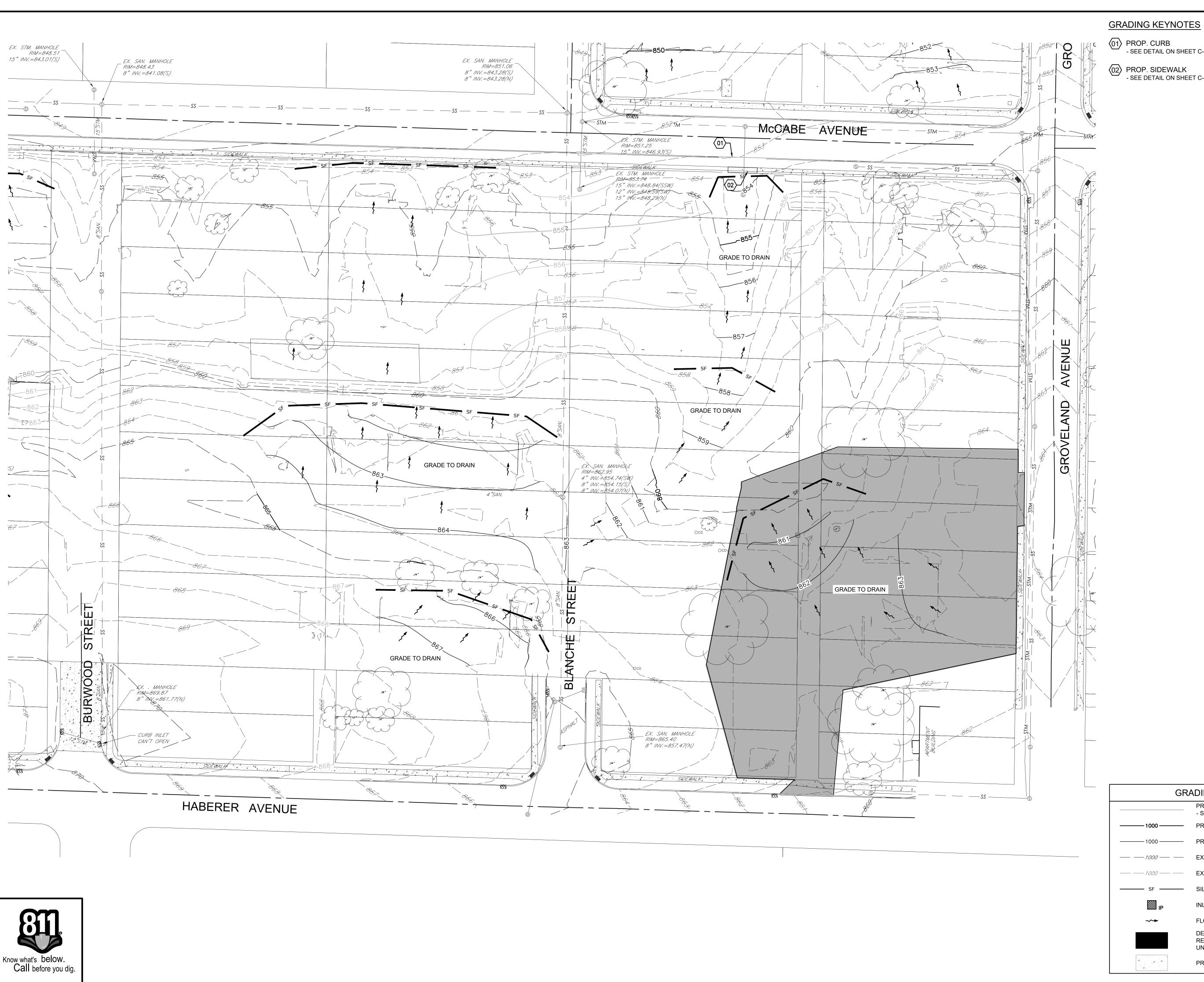
Sheet No.:

08.15.2024

NORTH SITE,

GRADING & E&SC PLAN

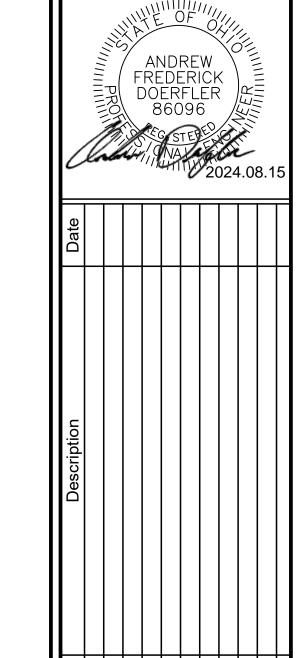






- SEE DETAIL ON SHEET C-4.1

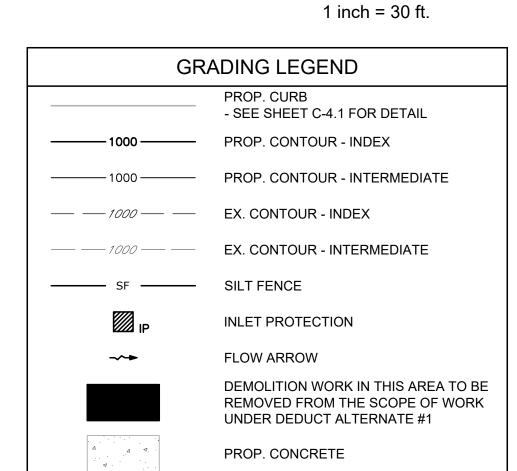
02 PROP. SIDEWALK - SEE DETAIL ON SHEET C-4.1



PLANS FOR DEMOLITION

SI OP

GRAPHIC SCALE





Design: AFD Proj: 23.205

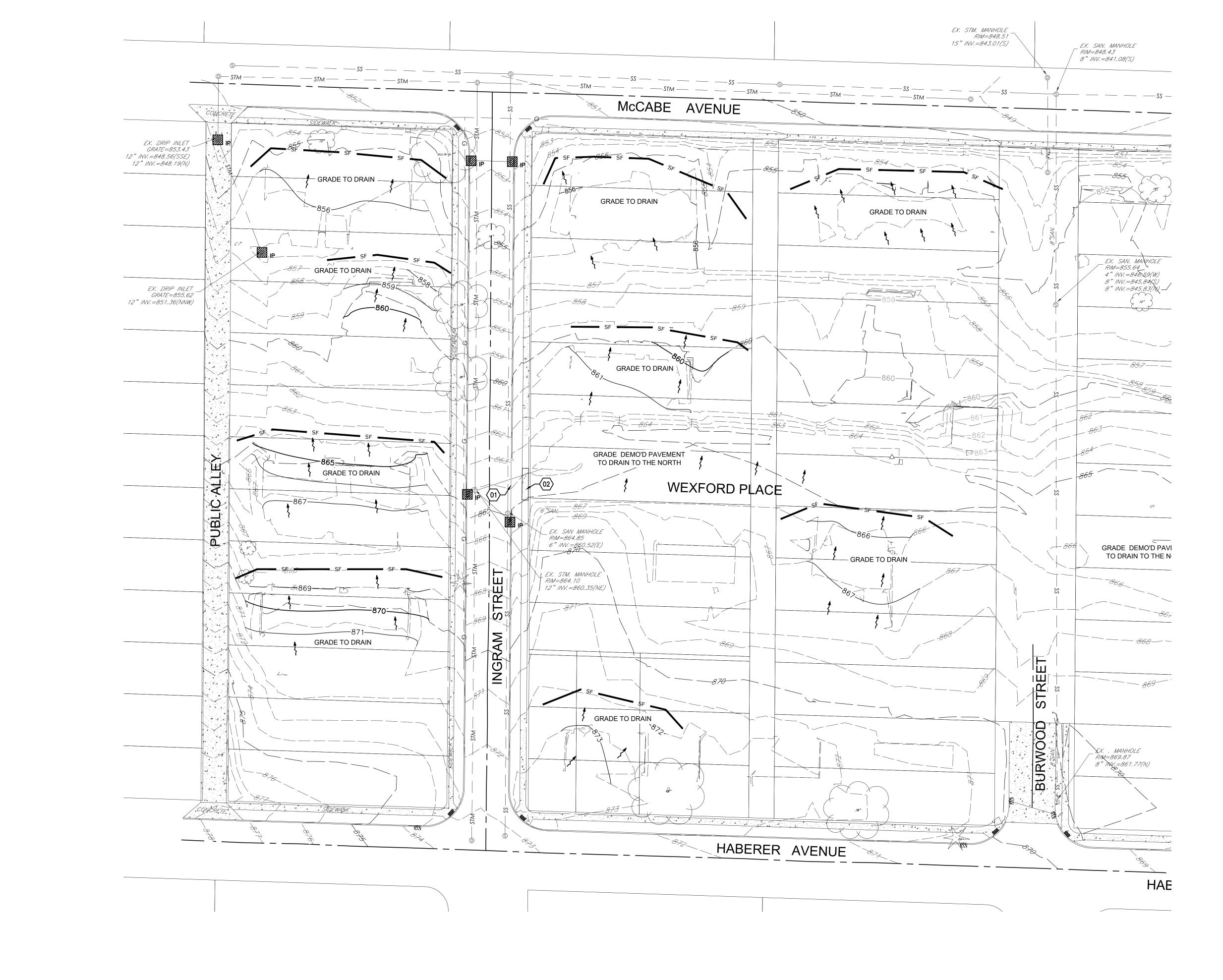
08.15.2024

CENTRAL SITE, **GRADING & E&SC**

PLAN

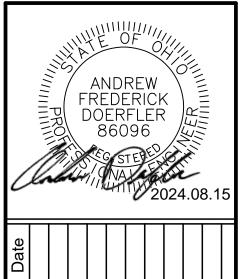
Draw: AFD Dwg: Check: JDB Tab:

Scale: As Shown





- PROP. CURB
 SEE DETAIL ON SHEET C-4.1
- 02 PROP. SIDEWALK
 SEE DETAIL ON SHEET C-4.1



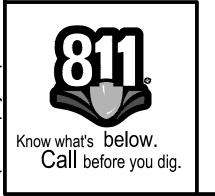
SIT HILLTOP



Design: AFD Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab: Scale: As Shown 08.15.2024 WEST SITE, GRADING & E&SC PLAN C - 3.3

GRAPHIC SCALE

1 inch = 30 ft.**GRADING LEGEND** PROP. CONTOUR - INDEX PROP. CONTOUR - INTERMEDIATE EX. CONTOUR - INTERMEDIATE ——— SF ———— SILT FENCE INLET PROTECTION FLOW ARROW

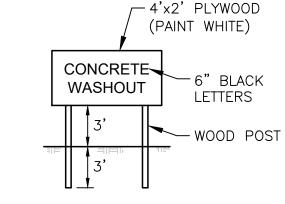


1. PLASTIC LINER SHALL BE ANCHORED WITH

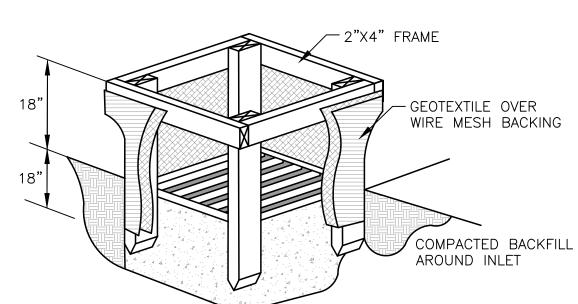
GRAVEL-FILLED BAGS. 2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE CONCRETE WASHOUT AREA.

CONCRETE WASHOUT AREA

NOT TO SCALE



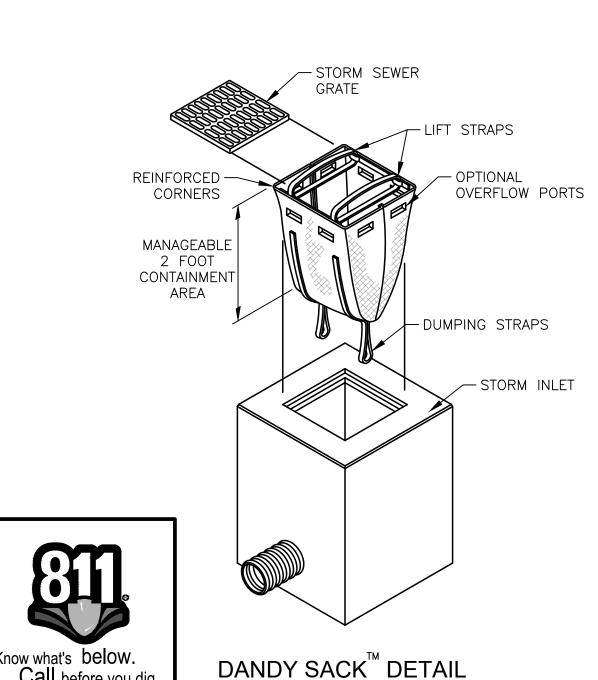
CONCRETE WASHOUT SIGN NOT TO SCALE



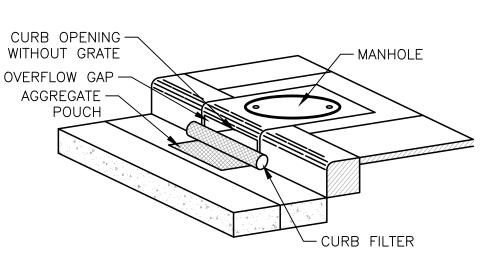
Call before you dig.

- 1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL
- 2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 IN.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 IN. BELOW ADJACENT ROADS IF PONDED WATER
- WOULD POSE A SAFETY HAZARD TO TRAFFIC. 4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME
- AND FASTENED SECURELY TO THE FRAME. GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 IN. BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME
- 6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL
- EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES. 7. A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 IN. HIGHER THAN THE TOP OF THE FRAME.

INLET PROTECTION DETAIL NOT TO SCALE

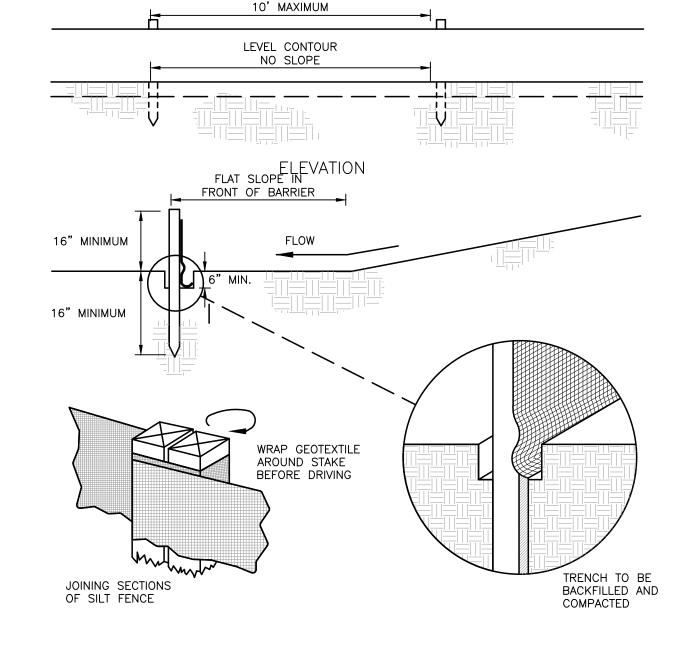


NOT TO SCALE



1. INLET SEDIMENT CONTROL DEVICE WITH CURB FILTER TO BE INSTALLED ON EXISTING PAVEMENT

DANDY CURB[™] DETAIL NOT TO SCALE



SILT FENCE & INLET PROTECTION INSTALLATION DETAIL NOT TO SCALE

GENERAL STORMWATER POLLUTION PREVENTION NOTES

- 1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
- 2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
- 3. Special precautions will be taken in the use of construction equipment to prevent situations that promote
- 4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
- 5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.50 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
- 6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be permanently stabilized (seeded and mulched) within 7 days of most recent disturbance.
- 7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 14 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work
- 8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
- 9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
- 10. Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
- 11. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
- 12. Haul Routes The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
- 13. No solid or liquid waste shall be discharged into storm water runoff.
- 14. Disposal of solid, sanitary and toxic waste Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
- 15. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
- 16. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
- 17. No fuel storage is permitted on-site.
- 18. All storm sewers shall be cleared of construction sediment upon completion of construction.
- 19. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA.
- 20. The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA's General Permit for Construction No. OHC000006 and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.
- 21. Dumpsters shall be provided for the disposal of debris, trash, hazardous and petroleum waste. All containers must be covered and leak proof.
- 22. All construction and demolition debris waste will be disposed of in an OEPA approved C&DD landfill as required by Ohio Revised Code 3714.
- 23. Any areas that will be used for mixing or storing fertilizers, lime, asphalt or concrete or used for vehicle fueling shall be designated and these areas should be kept away from any watercourses or storm sewers.
- 24. A Spill Prevention Control and Countermeasures (SPCC) Plan shall be developed if the site has one above ground storage tank of 660 gallons or more, total above ground tank storage of 1330 gallons, or below ground storage of 42,000 gallons of fuel.
- 25. In the event of a large release of petroleum waste (25 gallons or more) contractor shall contact OEPA at 1-800-282-9378, the local fire department and the local emergency planning committee (LEPC) within 30 minutes of spill.
- 26. Protected storage areas for industrial or construction materials shall be used to minimize exposure of such
- 27. If the Contractor uses pumps to assist in construction dewatering efforts, the water must be filtered prior to discharging it into the municipal storm sewer system, ensuring that no soil, silt or sediment enters the
- 28. Contractor to review and determine the best locations for concrete washout, dumpsters, and other SWPPP elements. All dirt and sediment is to be kept off public streets

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

- 1. Install silt fence and protection fencing.
- 2. Initial clearing, grubbing, and demolition 3. Place inlet filters on all storm inlets.
- 4. Final grade site.
- 5. Install curb and other hardscape structures/surfaces.
- 6. Stabilize ditches, swales, common areas and slopes. Establish permanent vegetation for all disturbed areas
- 8. Remove all temporary erosion and sediment control devices.
- 9. Clean out storm sewer system, infiltration, detention, and retention areas upon completion.

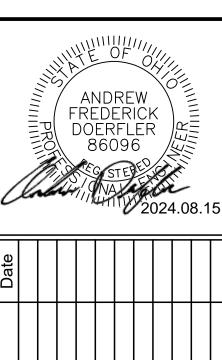
SOIL EROSION CONTROL MAINTENANCE

•Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or

• All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.

• Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.

• Sediment from the storm sewers, infiltration, detention, and retention areas shall be removed as necessary to maintain proper functionality.



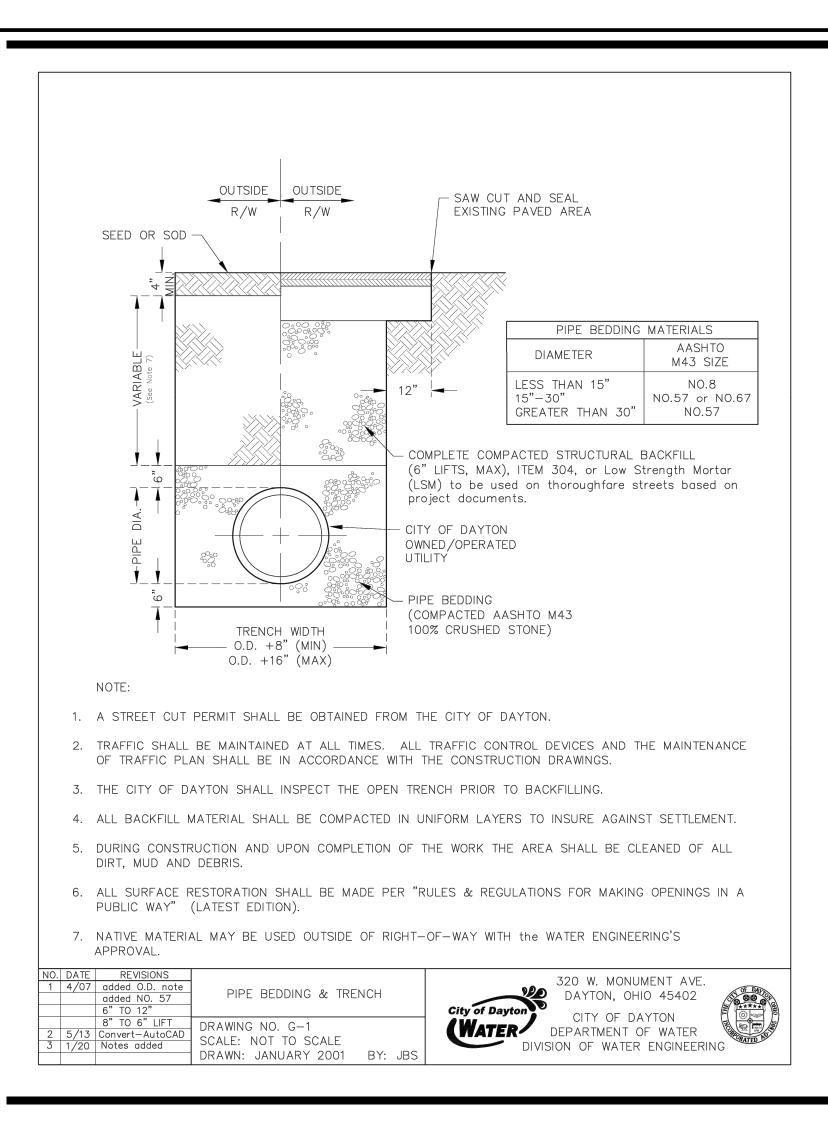
FOR S Д

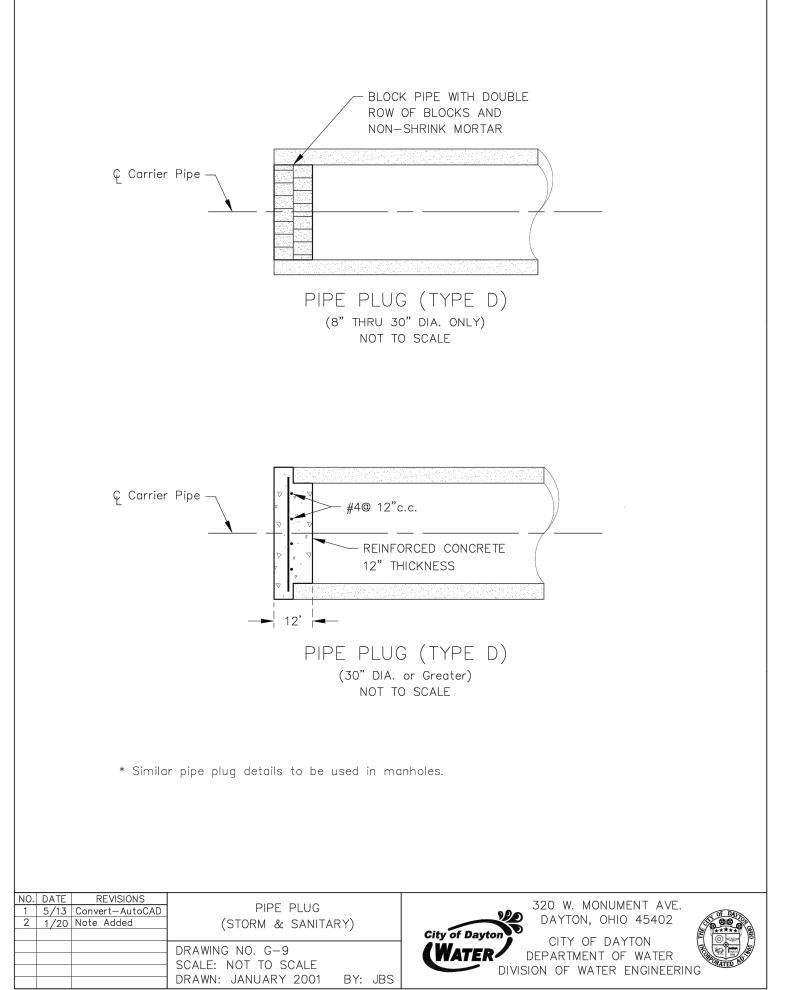


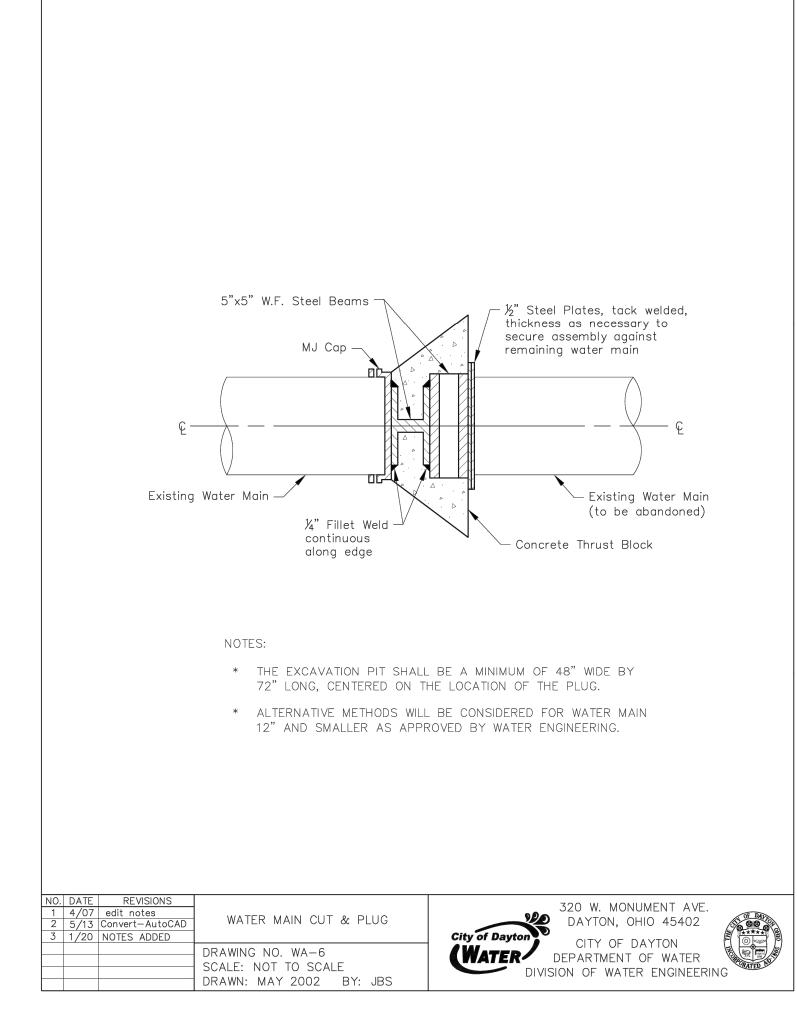
Design: AFD | Proj: 23.205 Draw: AFD Dwg: Check: JDB Tab: Scale: As Shown

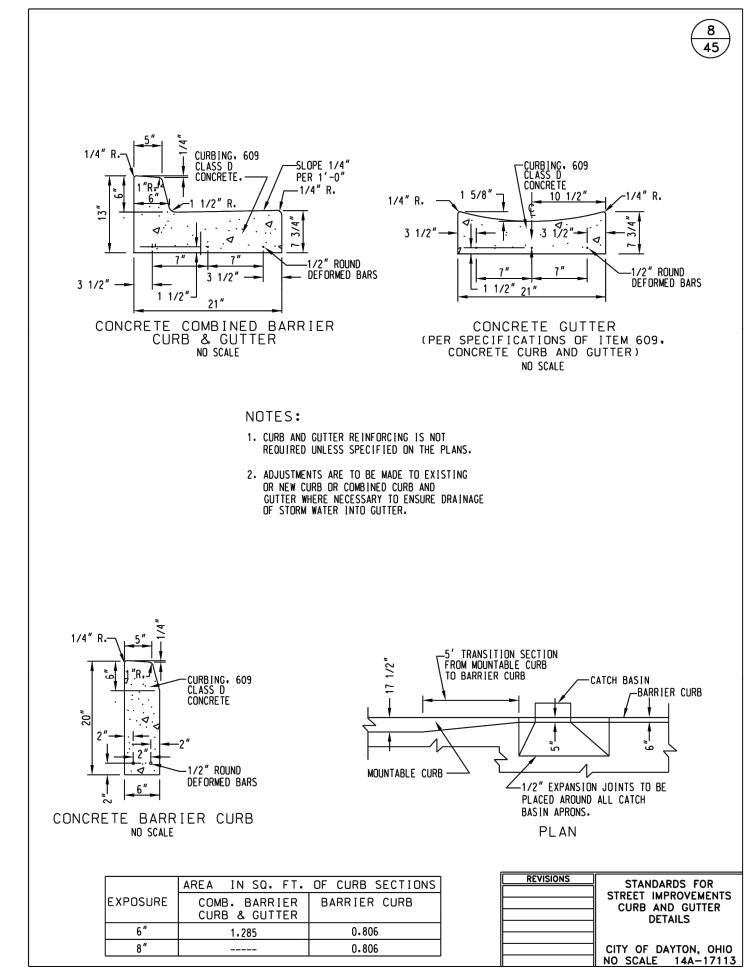
08.15.2024

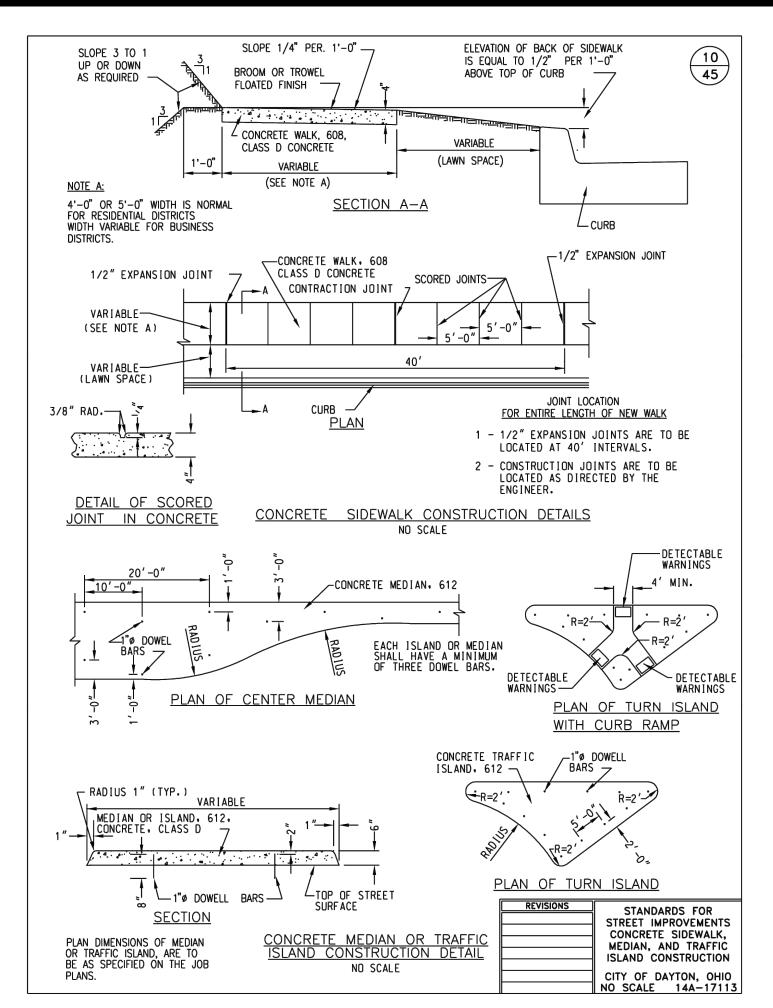
E&SC NOTES & DETAILS

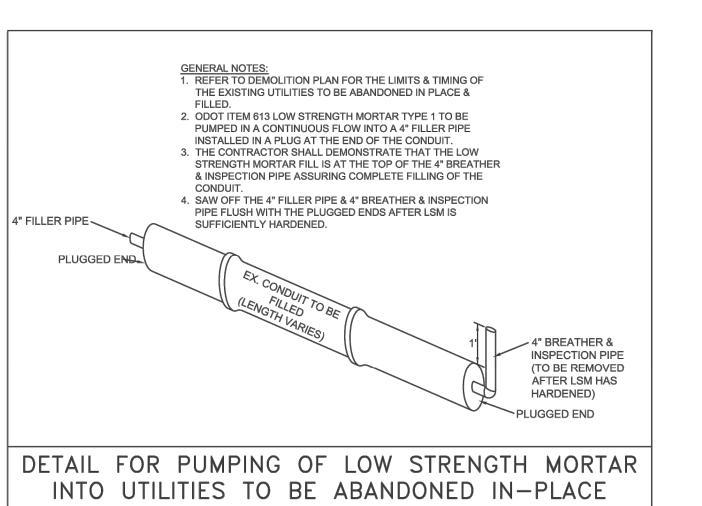


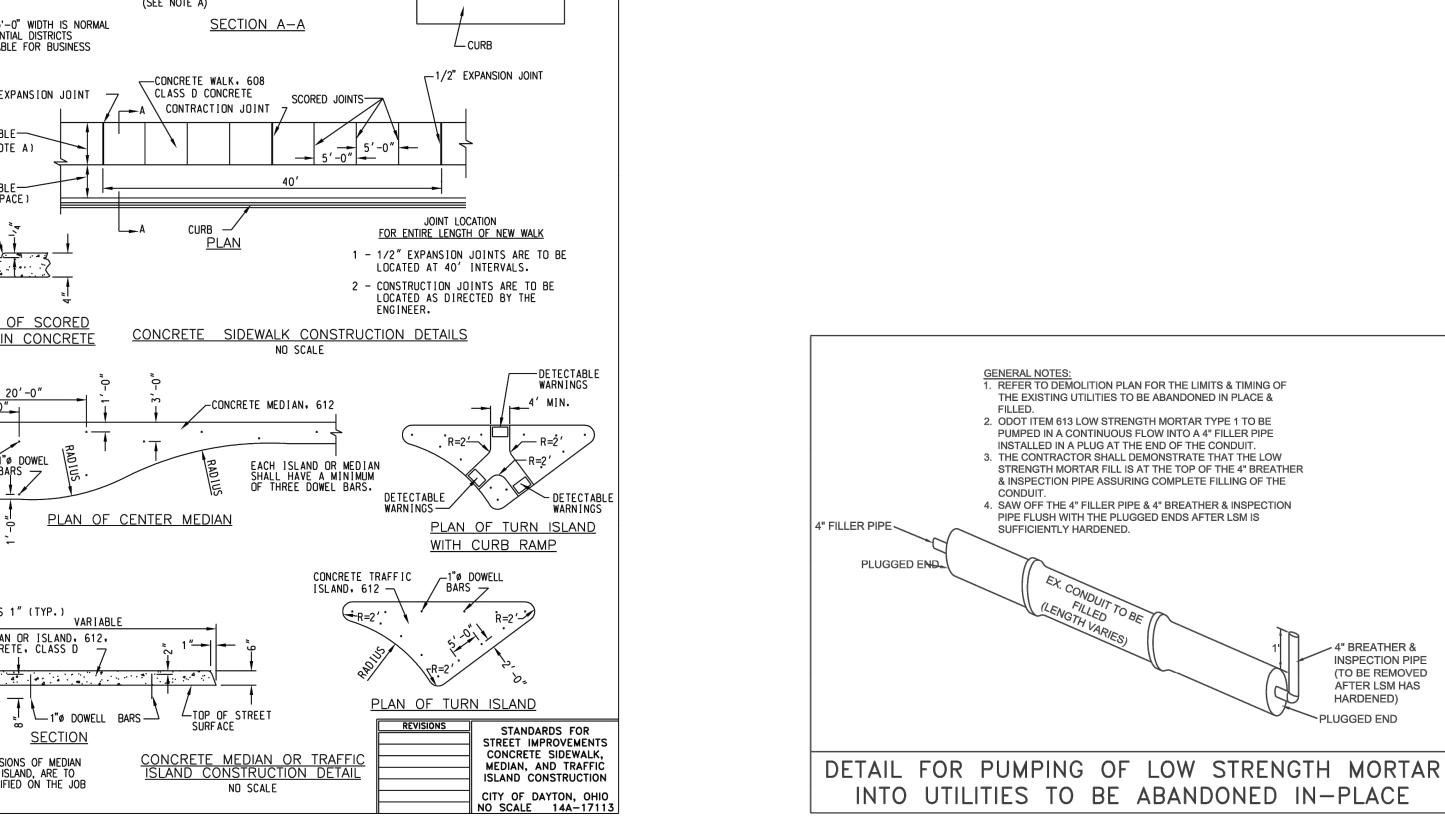














DEMOLITION

Scale: As Shown

Design: AFD | Proj: 23.205

Draw: AFD Dwg:

Check: JDB Tab:

08.15.2024

DETAILS