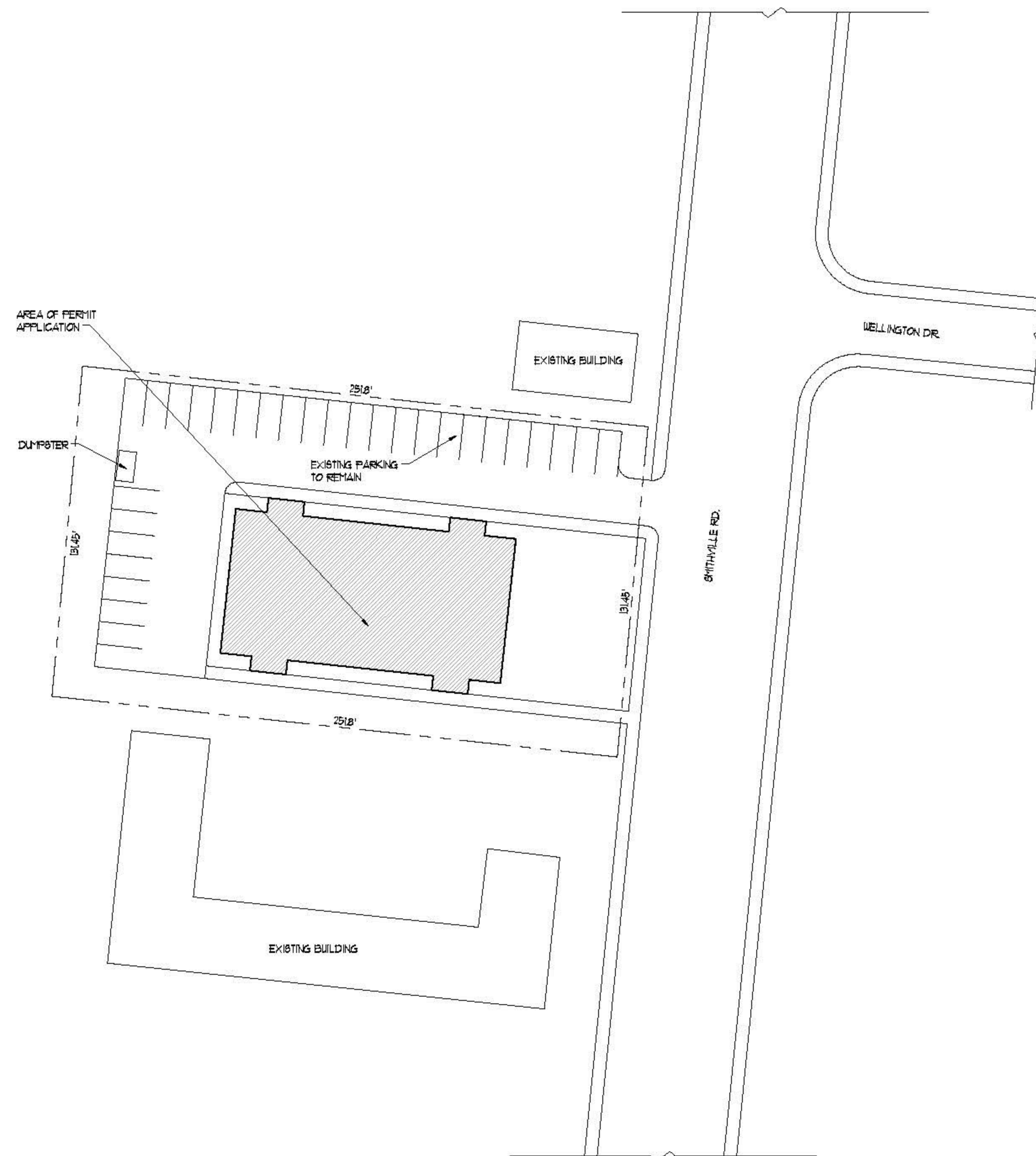
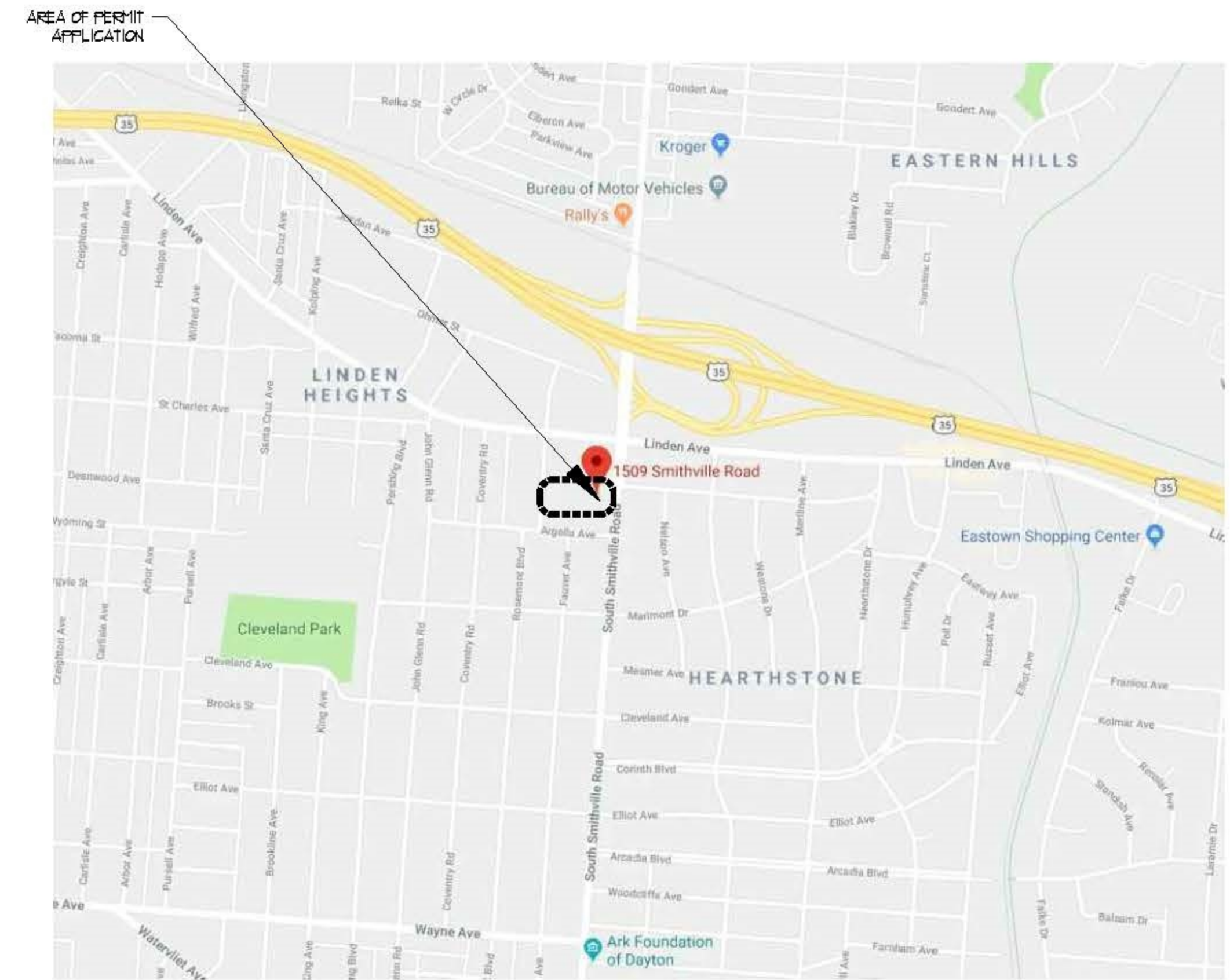


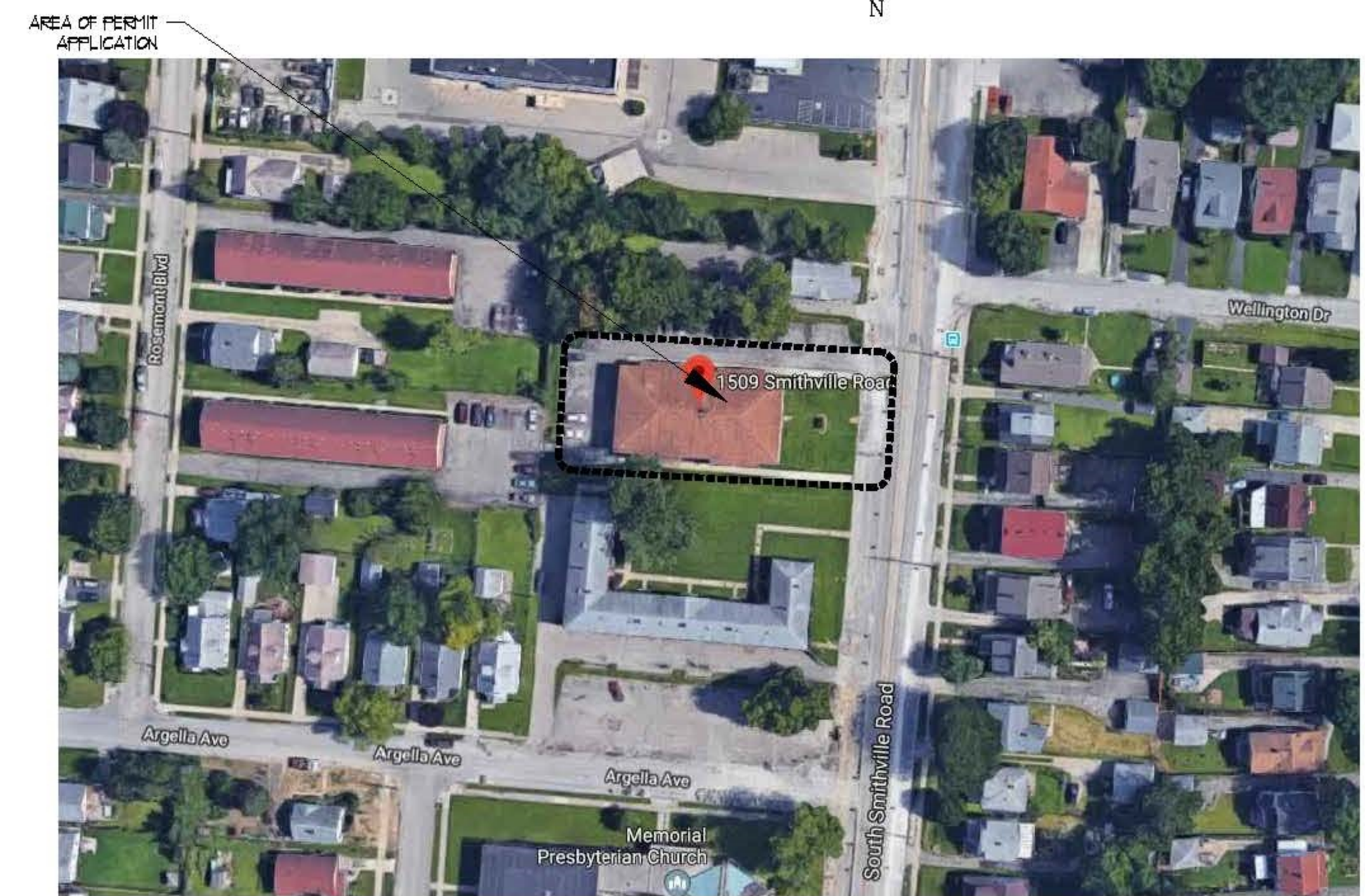
GREATER DAYTON PREMIER MANAGEMENT SMITHVILLE-MONARCH APARTMENTS OH5-12A AMP4 Units 7 & 11 Only NEW KITCHEN & BATH IMPROVEMENTS 1509 SMITHVILLE RD. DAYTON, OHIO 45410



SMITHVILLE-MONARCH APARTMENT SITE PLAN
SCALE: 1/16" = 1'-0"



LOCATION MAP



AERIAL VIEW OF EXISTING SITE

SHEET INDEX			
A0.1	COVER SHEET	E0.1	DEMO & NEW ELECTRICAL PLAN
A0.2	GENERAL INFORMATION		
A1.0	BUILDING FLOOR PLANS & CODE NOTES		
A1.1	DEMO FLOOR PLAN & INTERIOR ELEVATIONS		
A1.2	NEW FLOOR PLAN & INTERIOR ELEVATIONS		
P0.1	PLUMBING PLAN & FIXTURE SCHEDULE		

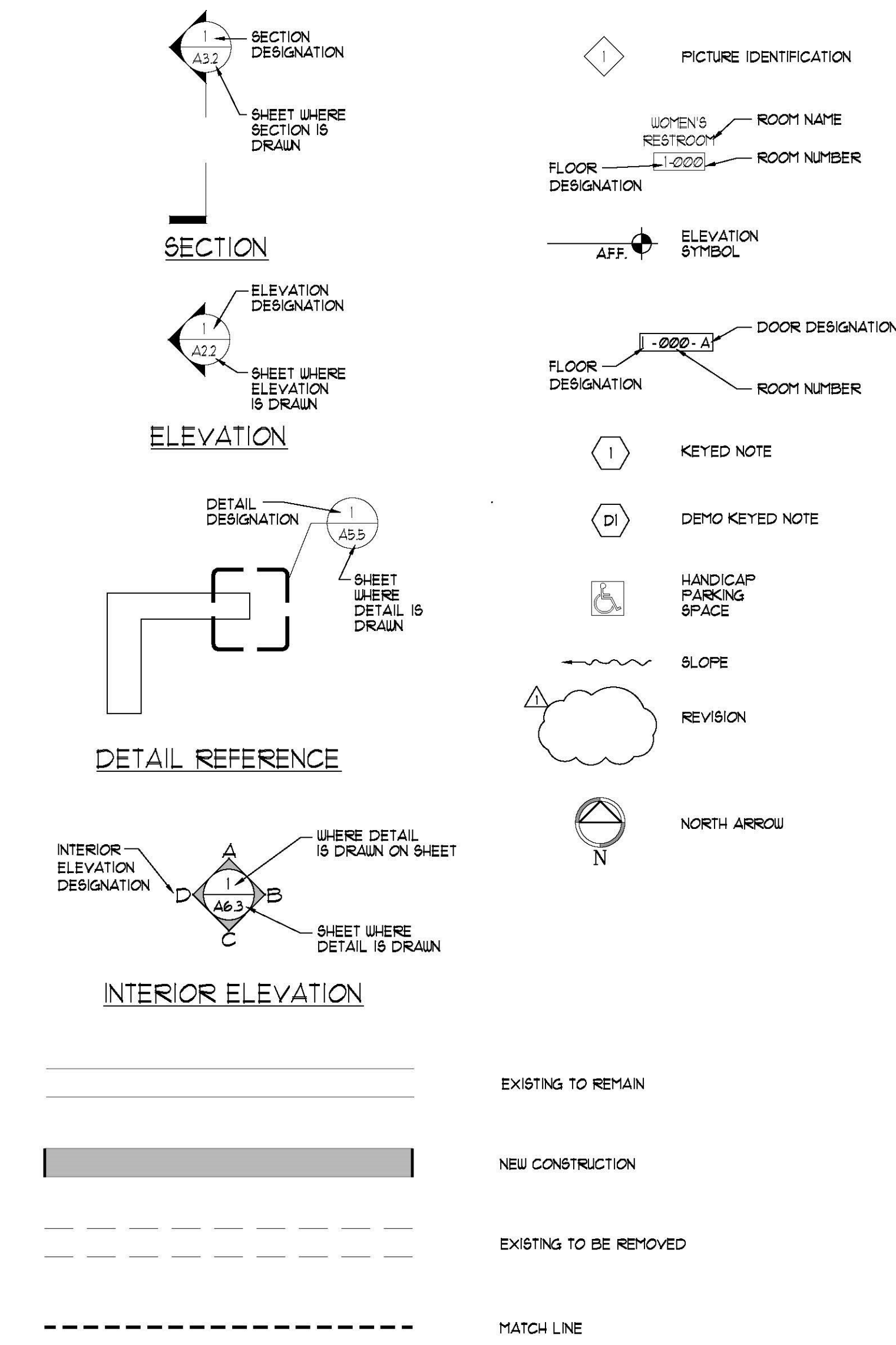
**GDPM
SMITHVILLE-MONARCH
KITCHEN & BATH
IMPROVEMENTS**

LIST OF ABBREVIATIONS

6	AT	LAM.	LAMINATED
4	AND	LAV.	LAVATORY
ALUM.	ALUMINUM	LB.	LAMINATED BEAM
ANCH.	ANCHOR	LBUL.	LOAD BEARING WALL
ANCHS.	ANCHORS	LEV.	LEVELING
APPROX.	APPROXIMATE	LF.	LINEAL (LINEAR) FEET
ARND.	AROUND	LT.	LIGHT
BAR.	BARRIER	M.C.	MECHANICAL CONTRACTOR
BD.	BOARD	MDF.	MEDIUM DENSITY FIBERBOARD
BEL.	BELOW	MECH.	MECHANICAL
BLDG.	BUILDING	MET.	METAL
BLK.	BLOCK	MIN.	MINIMUM
BM.	BEAM	MONO.	MONOLITHIC
BM'S.	BEAMS	NTS.	NOT TO SCALE
BOT.	BOTTOM	O.C.	ON CENTER
BRG.	BEARING	OD.	OUTSIDE DIAMETER
CAB.	CABINET	OP'G.	OPENING
CAR.	CARPET	OPG.	OPENING
C.B.	CONCRETE BLOCK	PAN.	PANTRY
CELL.	CEILING	PANTRY.	PANTRY
CENLN.	CENTERLINE	PARTN.	PARTITION
CL.	CLEAR	P.C.	PLUMBING CONTRACTOR
CLOS.	CLOSET	PER.	PERIMETER
CO.	CASED OPENING	PERIM.	PERIMETER
CO.	CLEAN OUT	PL.	PLATE
CO.	COLD FORMED METAL FRAMING	PLG.	PLUMBING
COFF.	COLUMN	PLATES.	PLATES
COLM.	COLUMN	PLYUD.	PLYWOOD
COMP.	COMPOSITION	POLY.	POLYETHYLENE
CONC.	CONCRETE	PRES.	PRESSURE TREATED
COND.	CONDENSER	PRES.	PRESSURE TREATED
CONT.	CONTINUOUS	P.T.	POLY VINYL CHLORIDE
CONTIN.	CONTINUOUS	RAD.	RADIUS
CTS.	CONTINUOUS	RCP.	REFINISHED CONCRETE PIPE
COV.	COVER	REF.	REFLECTED CEILING PLAN
COV.D.	COVERED	REFRIG.	REFRIGERATOR
CSNU.	CALCIUM SILICATE	REINF.	REINFORCEMENT
	MAFIBRE UNITS	REGD.	REQUIRED
CT	COUNTER	RM.	ROOM
CTR.	DRYER	SH.	SHIELD
D	DOUBLE	SH.T. RK.	SHEET ROCK
DBL.	DETAIL	ST.G.	STAIR
DET.	DETAIL	ST.G.	STAIR
DN.	DOWN	SQ.	SQUARE
DR.	DOOR	STD.	STANDARD
DRS.	DOORS	STD.	STANDARD
DB.	DOWNSPOUT	ST.	STEEL
DW.	DISHWASHER	STL.	STEEL
DW.	DRYWALL (GYP. BD.)	STOR.	STORAGE
EA.	EACH	SURF.	SURFACE
EJ.	EXPANSION JOINT	T&G	TONGUE & GROOVE
E.C.	ELECTRICAL CONTRACTOR	TH.	THICK
ELEC.	ELECTRICAL	THKN.	THICKENED
EXH.	EXHAUST	TYP.	TYPICAL
EXPAN.	EXPANSION	V.	VINYL
EXT.	EXTERIOR	V.B.	VAPOR BARRIER
FAB.	FABRICATED	VAP.	VAPOR
FIRESTOPP'G.	FIRESTOPPING	V.C.T.	VINYL COMPOSITION TILE
F.D.	FLOOR DRAIN	VERT.	VERTICAL
F.H.	FIRE HYDRANT	VERTS.	VERTICALS
FNDN.	FOUNDATION	W.	WASHER
FL.	FLOOR	W.	WITH
FLASH.	FLASHING	WIND.	WINDOW
FLR.	FLOOR	WD.	WOOD
F.P.C.	FIRE PROTECTION	WUF	WELDED WIRE FABRIC
FT.	FIRE TREATED		
FT.	FOOT (FEET)		
FTG.	FOOTING		
FURN.	FURNACE		
FURR.	FURRING		
F.V.	FIELD VERIFY		
G.C.	GENERAL (LEAD) CONTRACTOR		
GROG.	GRADING		
GYP. BD.	GYP. BOARD		
H.	HIGH		
H.M.	HOLLOW METAL		
HC	HANDICAPPED		
HORIZ.	HORIZONTAL		
INS.	INSULATION		
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOIST		
JSTB.	JOISTS		
JT.	JOINT		
JTB.	JOINTS		

ADDITIONAL ABBREVIATIONS / SYMBOLS MAY BE FOUND AT OTHER LOCATIONS WITHIN THESE DRAWINGS

DRAWING SYMBOLS/ ABBREVIATIONS



MATERIAL DESIGNATION

	GYP. BOARD		STEEL
	BATT INSULATION		GRANULAR FILL
	WOOD BLOCKING		BRICK
	CONCRETE		CONCRETE MASONRY UNITS
	EARTH		ASPHALT
	WOOD - FINISH CARPENTRY		RIGID INSULATION
	PLYWOOD		

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL BUILDING CODES AS CURRENTLY AMENDED, AND MEET OR EXCEED THE REQUIREMENTS OF THE 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS).
- ALL DIMENSIONS ARE FROM ROUGH FACE TO ROUGH FACE OF FRAMING OR MASONRY UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL WORK ACTIVITIES WITH BUILDING OWNER, OTHER PRIME CONTRACTORS AND SUB-CONTRACTORS.
- DO NOT SCALE FROM THESE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. IF A DISCREPANCY OCCURS, CONTACT THE OWNER IMMEDIATELY. ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTOR.
- ALL MATERIALS, ASSEMBLIES AND EQUIPMENT TO BE PURCHASED, DELIVERED, UNLOADED, (STORED) AND INSTALLED BY THE CONTRACTOR UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, AND CLEANED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

GENERAL NOTES

- GENERAL CONDITIONS: GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE ESTABLISHED IN THE SPECIFICATIONS.
- REVIEW EACH SHEET OF DRAWINGS AND SPECIFICATIONS ONLY IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS. THE DOCUMENTS AND SPECIFICATIONS ARE INTERDEPENDENT AND ARE NOT TO BE SEPARATED OR READ INDEPENDENTLY. THE OWNER ACCEPTS NO RESPONSIBILITY FOR ITEMS MISSED BY NOT REVIEWING THE ENTIRE SET OF DOCUMENTS AND SPECIFICATIONS AS A WHOLE.
- THE CONTRACTORS SHALL VISIT THE SITE TO REVIEW ALL CONDITIONS IN CONJUNCTION WITH THE REVIEW OF ALL BIDDING DOCUMENTS. THE CONTRACTORS, BY COMMENCING THE WORK, ACCEPT THE CONDITIONS OF THE SITE AND THE CONTRACT/BIDDING DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL SITE CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK. NO EXTRAS WILL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN EXCEPT WHERE THE CONDITION COULD NOT HAVE BEEN DISCERNIBLE WITHOUT THE REMOVAL OF CONCEALING CONDITIONS.
- THE LEAD CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATING OF SCHEDULES FOR ALL WORK THAT IS TO OCCUR UNDER SEPARATE CONTRACT OR BY 'OWNER'S OWN FORCES'.
- ALL PRIMES ARE RESPONSIBLE FOR THEIR OWN REMOVAL OF DEBRIS FROM THE JOB SITE PER THE PROVISIONS ESTABLISHED IN THE 'PROJECT PROCEDURES'. ALL DEBRIS SHALL BE CONTAINED WITHIN THE CONTRACT LIMITS PRIOR TO REMOVAL.
- THE LEAD CONTRACTOR IS RESPONSIBLE TO HAVE THE ENTIRE AREA CLEANED PER THE SPECIFICATIONS AT THE TIME OF TURN OVER TO THE OWNER.
- RECORD DRAWINGS: ALL PRIMES SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. DEVIATIONS SHALL BE NEATLY AND CORRECTLY ENTERED ON THE RECORD FIELD SET WITH COLORED PENCIL OR MARKER. THESE DRAWINGS SHALL BE ON SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES.
- PRIOR TO PROJECT CLOSEOUT, CONTRACTORS SHALL MAKE FINAL CORRECTIONS TO THE RECORD DRAWINGS AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT BY HIS/HER SIGNATURE THEREON AND DELIVER THEM TO THE OWNER.
- PROVIDE ALL WORK MATERIALS AND LABOR NECESSARY FOR A COMPLETE PROJECT. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS OR SPECIFIED BUT WHICH IS OBVIOUSLY LEFT TO INTERPRETATION BUT IS NECESSARY TO COMPLETE WORK OF A SIMILAR SCOPE OR TO COMPLETE NOTED ASSEMBLIES SHALL BE PROVIDED AS BASE BID WORK.
- PROTECTION: EACH CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY, ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION ACTIVITIES. THE LEAD CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF WORK UNTIL COMPLETION.
- ALL WALL AND CEILING CONSTRUCTION SHALL BE SUPPORTED OR BRACED FROM STRUCTURAL MEMBERS, NOT OTHER ITEMS OF SUSPENDED WORK OR WORK IN PLACE UNLESS DESIGNED SPECIFIC FOR THIS PURPOSE.

ARCHITECTURAL DIMENSIONING CONVENTIONS

- A. EXCEPT WHERE DIRECTED TO PLACE ITEMS OF THE WORK AT THE "APPROXIMATE LOCATION SHOWN" DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION. ALL ELEMENTS OF THE DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. ALL DIMENSIONS REQUIRED ARE SHOWN OR MAY BE DERIVED FROM THOSE SHOWN ON THE FLOOR PLANS, DETAIL PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES, AND SPECIFICATIONS. SEE NOTES AND SYMBOLS ON THIS SHEET FOR DIMENSION CONVENTIONS USED ON THIS PROJECT.
- B. DIMENSIONS UTILIZING THE "CENTERLINE" SYMBOL ARE MEASURED TO:
- STRUCTURAL OR DIMENSIONAL GRID LINES.
 - DIMENSION TO:
 - GRID LINE (COLUMN LINE) CENTERLINE - OF ASSEMBLY
 - CENTER LINE OPENING
 - CENTERLINE OF EQUIPMENT / FURNISHINGS
- B2. NON-CENTERLINE DIMENSIONS ARE MEASURED TO:
- FACE OF CONCRETE OR CONCRETE MASONRY UNIT WALL (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS OR FURRING WHICH MAY BE ADDED TO THE FACE OF SUCH WALLS.)
 - FINISHED FACE OF PARTITION FRAMING.
 - DIMENSION OR WORK POINT AS INDICATED ON RELATED ARCHITECTURAL DETAIL, PLAN, SECTION, ELEVATION, CONFIGURATION DETAIL, OR CONSTRUCTION DETAIL.
 - DIMENSION TO FACE OF:
 - PARTITION FRAMING AS SHOWN ON PARTITION SCHEDULE
 - OTHER ASSEMBLY
 - WORK POINT INDICATED ON DETAILS
- C. WHERE DIMENSIONS ARE NOT PROVIDED ON THE FLOOR PLANS TO LOCATE DOOR OPENINGS, APPLY THE FOLLOWING RULES TO DETERMINE THE LOCATION OF DOOR OPENINGS:
- C1. DOOR OPENINGS MAY BE DIMENSIONED ON DWGS OTHER THAN THE FLOOR PLANS. REFER TO THE SECTIONS, ELEVATIONS, DETAILS, AND DOOR SCHEDULE NOTES FOR ADDITIONAL DIMENSIONAL INFORMATION.
- C2. WHERE THE HINGE-SIDE OF A DOOR IS SHOWN ADJACENT TO A WALL, OR WALLS, PERPENDICULAR TO THE WALL, IN WHICH THE DOOR OPENING OCCURS, LOCATE THE HINGE-SIDE FINISHED EDGE OF THE DOOR OPENING 6 INCHES FROM THE FACE (EXCLUSIVE OF ANY APPLIED FINISH) OF THE CLOSEST PERPENDICULAR WALL OR PARTITION ASSEMBLY. ALSO REFER TO UFAS STANDARDS FOR ALL REQUIRED CLEARANCES AT LATCH SIDE OF DOOR.

CONSTRUCTION NOTE TERMS

- PROVIDE: FURNISH & INSTALL & COORDINATE WITH PROJECT SCHEDULE & WORK OF OTHER TRADES.
- INSTALL: FASTEN SECURELY IN PLACE. CONNECT TO ASSOCIATED UTILITIES. ADJUST / CLEAN PER SPECIFICATIONS. INCLUDES FURNISHING & USE OF ANY / ALL REQUIRED LABOR EQUIPMENT & ACCESSORY / RELATED MATERIALS.
- SUPPLY: PURCHASE & DELIVER TO DESIGNATED POINT OF DELIVERY ON-SITE, UNDAMAGED & IN MFR. PACKAGING.
- FURNISH: SUPPLY & MOVE FROM DESIGNATED POINT OF DELIVERY ON-SITE TO PLACE OF INSTALLATION.

GENERAL INFORMATION

GDPM
SMITHVILLE-MONARCH
KITCHEN & BATH
IMPROVEMENTS

CODE NOTES

UNITS 7-11 ONLY

THIS APPLICATION FOR PERMIT IS TO RENOVATE ~~X~~ EXISTING APARTMENT BATHROOMS & KITCHENS ON 3 FLOORS. ALTERATIONS INCLUDE DEMO & REPLACEMENT OF EXISTING KITCHEN CABINETS, PLUMBING FIXTURES, WOOD STUD/ GYP. BRD. PARTITIONS, AND FLOORING AS WELL AS PARTIAL IMPROVEMENTS OF THE ELECTRICAL SYSTEMS. HVAC SYSTEMS TO REMAIN W/ MINOR IMPROVEMENTS OF FIN TUBE COVERS AND EXHAUST FANS.

BUILDING IS CONSTRUCTED OF POURED CONCRETE FOUNDATION W/ MASONRY ABOVE GRADE FOR EXTERIOR WALLS AND MAJOR CORRIDORS ON ALL FLOORS. INTERIOR BEARING WALLS ARE CONSTRUCTED OF WOOD FRAMING ON ALL FLOORS. FLOOR / CEILING CONSTRUCTION IS OF WOOD FLOOR JOISTS, SHEATHING & PLASTER. ROOF IS CONSTRUCTED OF WOOD.

BUILDING IS FURTHER DESCRIBED IN THE OHIO BUILDING CODE AS FOLLOWS:

USE AND OCCUPANCY CLASSIFICATION
R-2 RESIDENTIAL (APARTMENT / CONDOMINIUM)

- SPECIAL DETAILED REQUIREMENTS BASED ON USE & OCCUPANCY
1. SEPARATION WALLS BETWEEN UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 109.
 2. HORIZONTAL DWELLING UNIT SEPARATION IS REQUIRED PER THE 2014 OHIO BUILDING CODE. EXISTING SECOND & THIRD FLOOR/ CEILING SYSTEM IS CONSTRUCTED PER U.L. DESIGN L504.

GENERAL BUILDING HEIGHTS AND AREAS
ALLOWABLE BUILDING HEIGHT AND AREA FOR R-2 RESIDENTIAL, TYPE 3B CONSTRUCTIONS: 4 STORIES, 16,000 SF. PER FLOOR
ACTUAL BUILDING HEIGHT AND AREA:
3 STORIES, 5,146 SF. PER FLOOR

TYPES OF CONSTRUCTION
TYPE 3B - NO REQUIRED FIRE RATINGS FOR STRUCTURAL ELEMENTS EXCEPT FOR THE FIRE BARRIERS REQUIRED FOR DWELLING UNIT SEPARATION AND STRUCTURAL ELEMENTS SUPPORTING THEM AS SHOWN ON THE FLOOR PLAN.

FIRE AND SMOKE PROTECTION FEATURES
EXISTING EXTERIOR WALLS SHALL REMAIN. NO NEW WINDOW OPENINGS OR MODIFICATIONS ARE BEING PROVIDED. EXISTING DWELLING UNIT SEPARATIONS ARE PROVIDED THROUGHOUT THE BUILDING. HORIZONTAL ASSEMBLIES ARE PROVIDED FOR DWELLING UNIT SEPARATION. MATERIALS USED TO FILL ANNULAR SPACE TO PREVENT FLAME OR HOT GASSES AT PENETRATIONS FOR PLUMBING AND HVAC SHALL BE PROVIDED @ FIRE RATED ASSEMBLIES. SEE DRAWINGS. PROVIDE FIRE DAMPERS AT HVAC DUCT DIFFUSERS AT PENETRATIONS OF FIRE RATED ASSEMBLIES. ANY NEW INSULATION INSTALLED SHALL PROVIDE A FLAME SPREAD INDEX OF 25 AND SMOKE DEVELOPED INDEX OF 450. EXISTING ELECTRICAL, PLUMBING, AND HVAC SYSTEM TO BE REUSED IN ITS CURRENT STATE AS APPROVED UNDER PREVIOUS PERMITS. ANY NEW PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL COMPLY WITH SECTION 713 OF THE OHIO BUILDING CODE.

INTERIOR FINISHES
WALL AND CEILING FINISHES - ROOMS OR ENCLOSED SPACES: CLASS C
INTERIOR FLOOR FINISH - CLASS II

FIRE PROTECTION SYSTEMS
BUILDING IS NOT EQUIPPED W/ AUTOMATIC FIRE SUPPRESSION AND IS NOT REQUIRED IN R-2 RESIDENTIAL USE GROUPS PER OBC SECTION 903.2.8 (3)(E). SINCE ALL DWELLING UNITS IN THIS BUILDING PROVIDE ONE HOUR RATED SEPARATIONS AS REQUIRED IN OBC SECTION 703.1.

FIRE ALARM AND DETECTION SYSTEMS ARE NOT PROVIDED IN THE BUILDING AND ARE NOT REQUIRED PER 907.2.9.1 ITEMS 1 THRU 3 AND EXCEPTIONS 1 AND 3.

- SMOKE ALARMS ARE REQUIRED IN ALL UNITS IN THE FOLLOWING LOCATIONS:
1. OUTSIDE EACH SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS.
 2. IN EACH ROOM FOR SLEEPING PURPOSES.

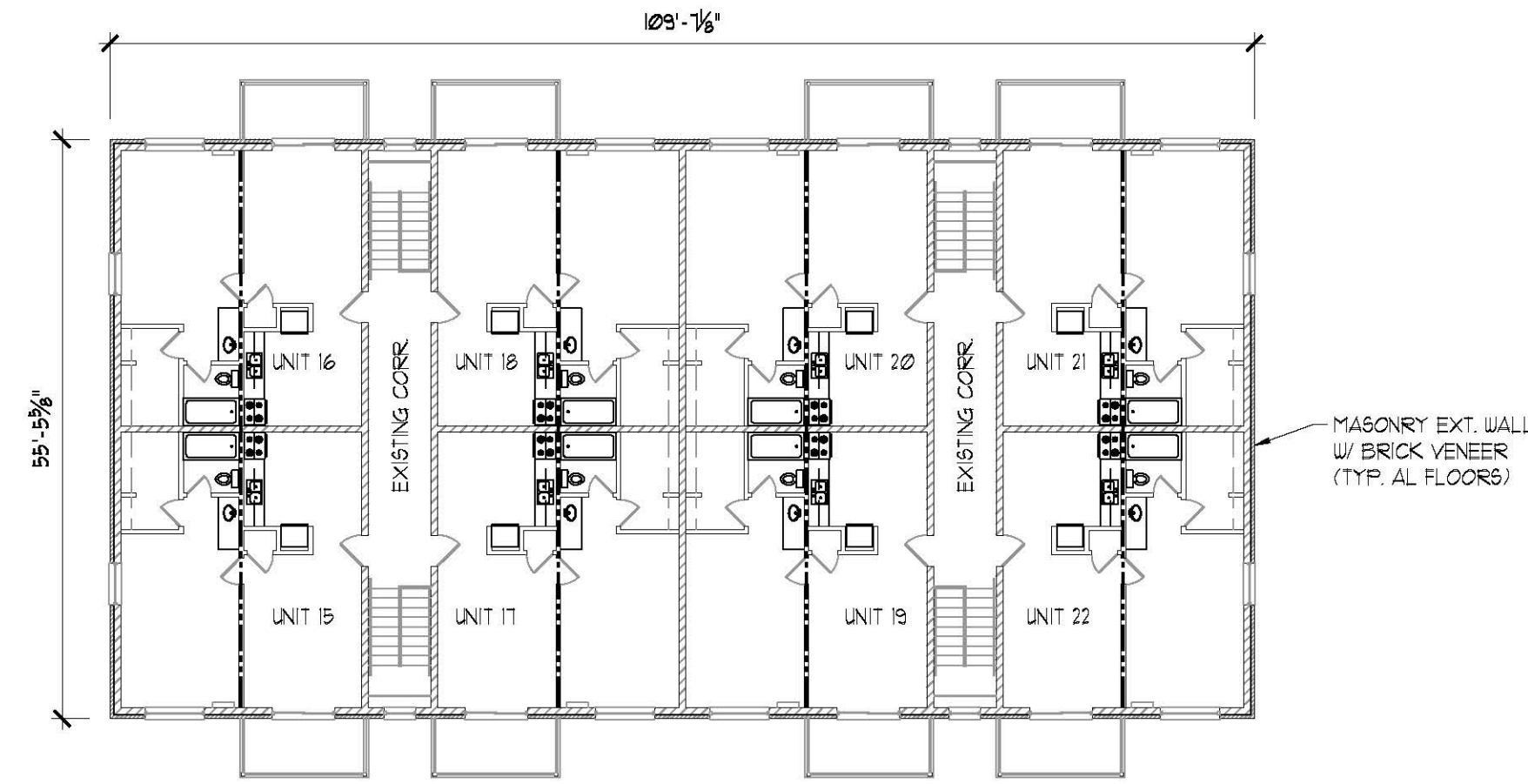
SMOKE ALARMS SHALL BE INTERCONNECTED SO ONE SMOKE DETECTOR WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNITS. SMOKE ALARMS SHALL HAVE POWER SOURCE FROM PRIMARY POWER FROM BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP.

MEANS OF EGRESS
ALL EXISTING MEANS OF EGRESS FOR THE EXISTING BUILDING AND DWELLING UNIT TO REMAIN.

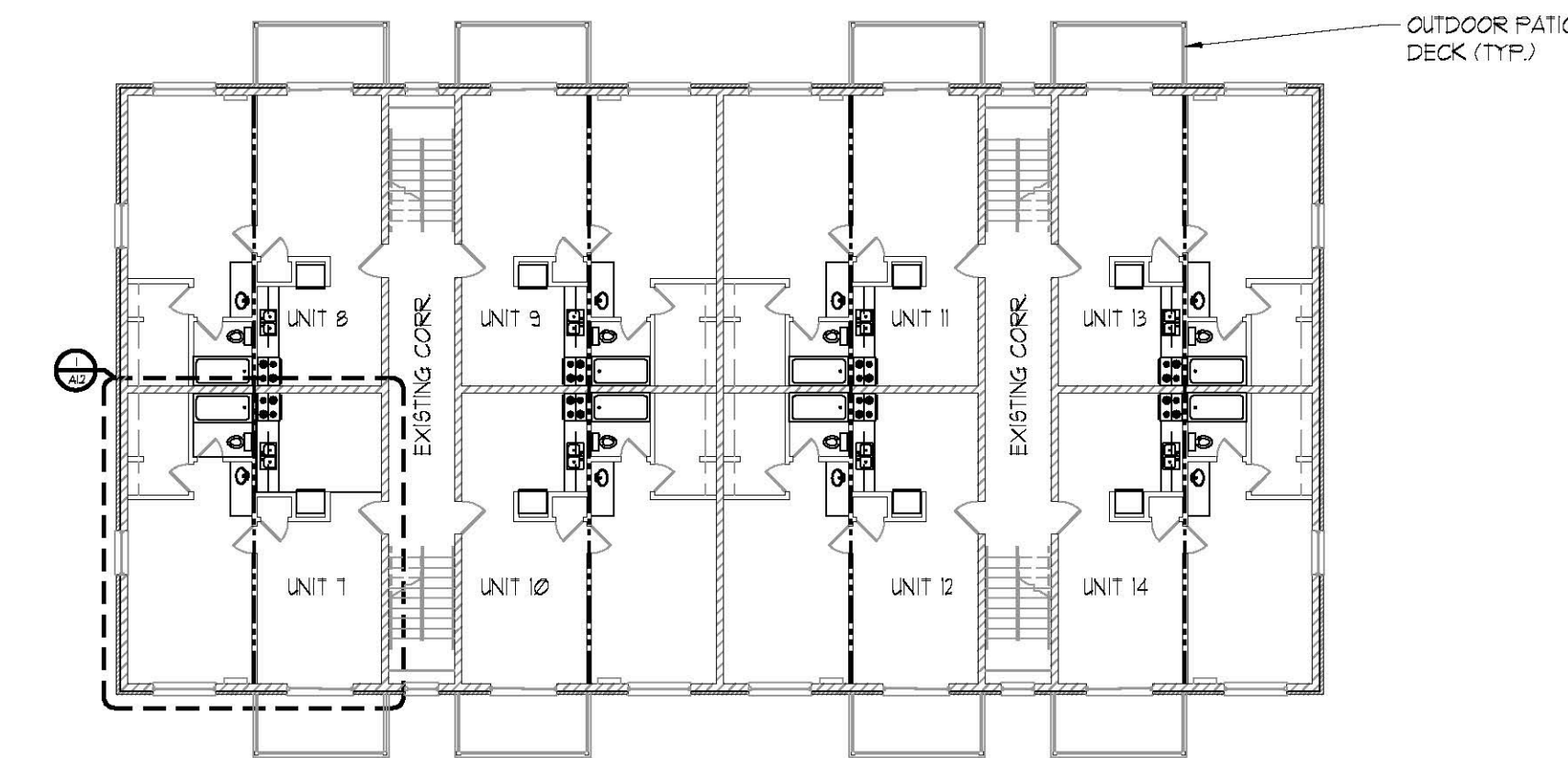
ACCESSIBILITY
UNITS ARE NOT REQUIRED TO BE ACCESSIBLE PER 1107.6.2.2.1.

INTERIOR ENVIRONMENT
AIR-BORNE SOUND:
WALLS, PARTITIONS, FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL PROVIDE A SOUND TRANSMISSION CLASS (STC) OF EQUAL VALUE OF EXISTING CONSTRUCTION.

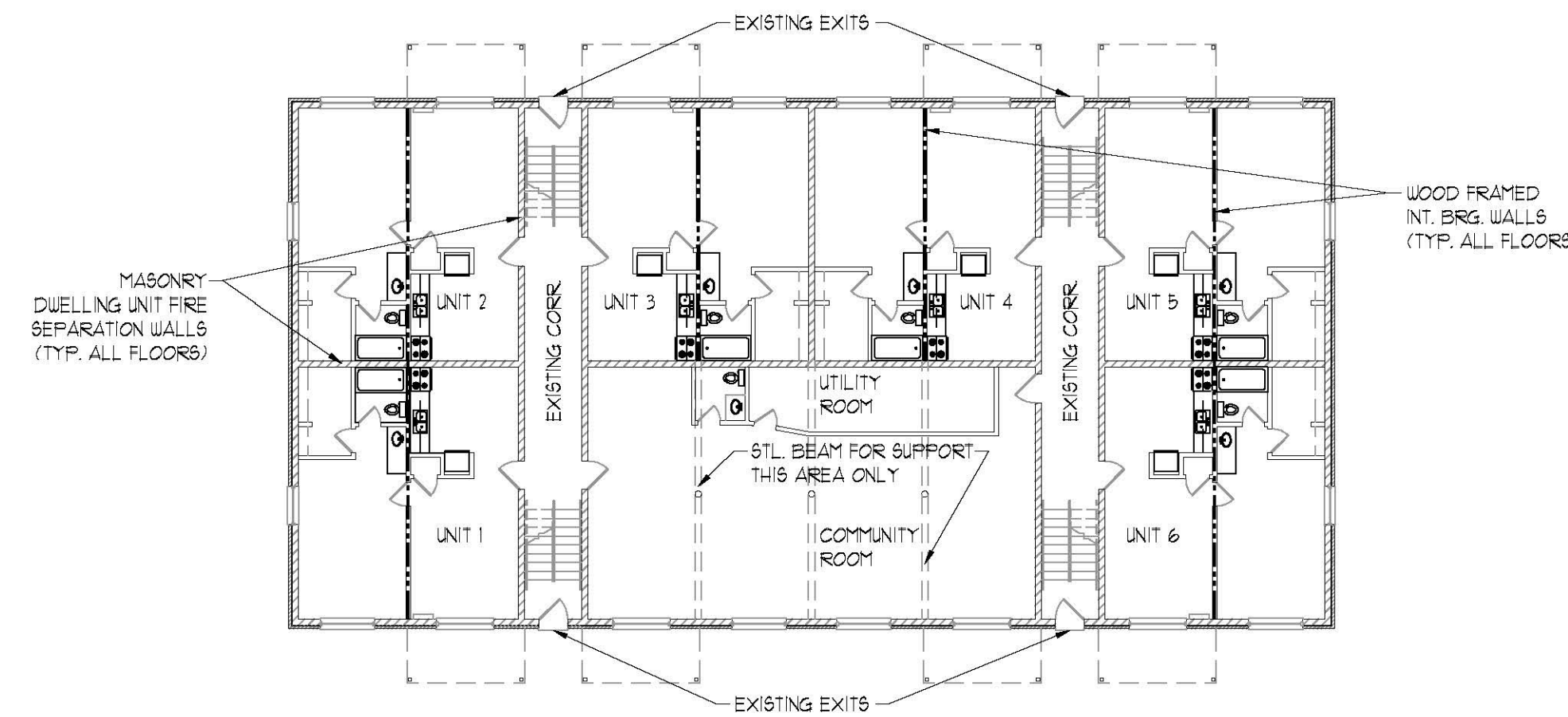
PENETRATIONS OR OPENINGS FOR PIPING, ELECTRICAL DEVICES, CABINETS, BATH TUBS, SOFFITS, HVAC VENTS/DUCTS SHALL BE SEALED, LINED, OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATINGS.



THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0" ③



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0" ②



FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0" ①

KEY
FLOOR PLANS/
CODE NOTES

GPPM
SMITHVILLE-MONARCH
KITCHEN & BATH
IMPROVEMENTS

SUMMARY OF WORK

THE WORK CONSISTS OF REMOVING AND REPLACING THE EXISTING KITCHEN AND BATH FINISHES AND FIXTURES AND REPAIRING ANY PLUMBING LEAKS OR ELECTRICAL WIRING ASSOCIATED WITH THE KITCHENS AND BATHROOMS IN 2 APARTMENT UNITS AT THE SMITHVILLE-MONARCH APARTMENT COMPLEX. NEW KITCHEN AND BATHROOM PLUMBING FIXTURES AND EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS NOTED ON THE DRAWINGS. AN ASBESTOS SURVEY IS ATTACHED WITH THE CONTRACT DOCUMENTS AND IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ABATEMENT OR ENCAPSULATION AND SAFETY PRECAUTIONS FOR AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

GENERAL NOTES

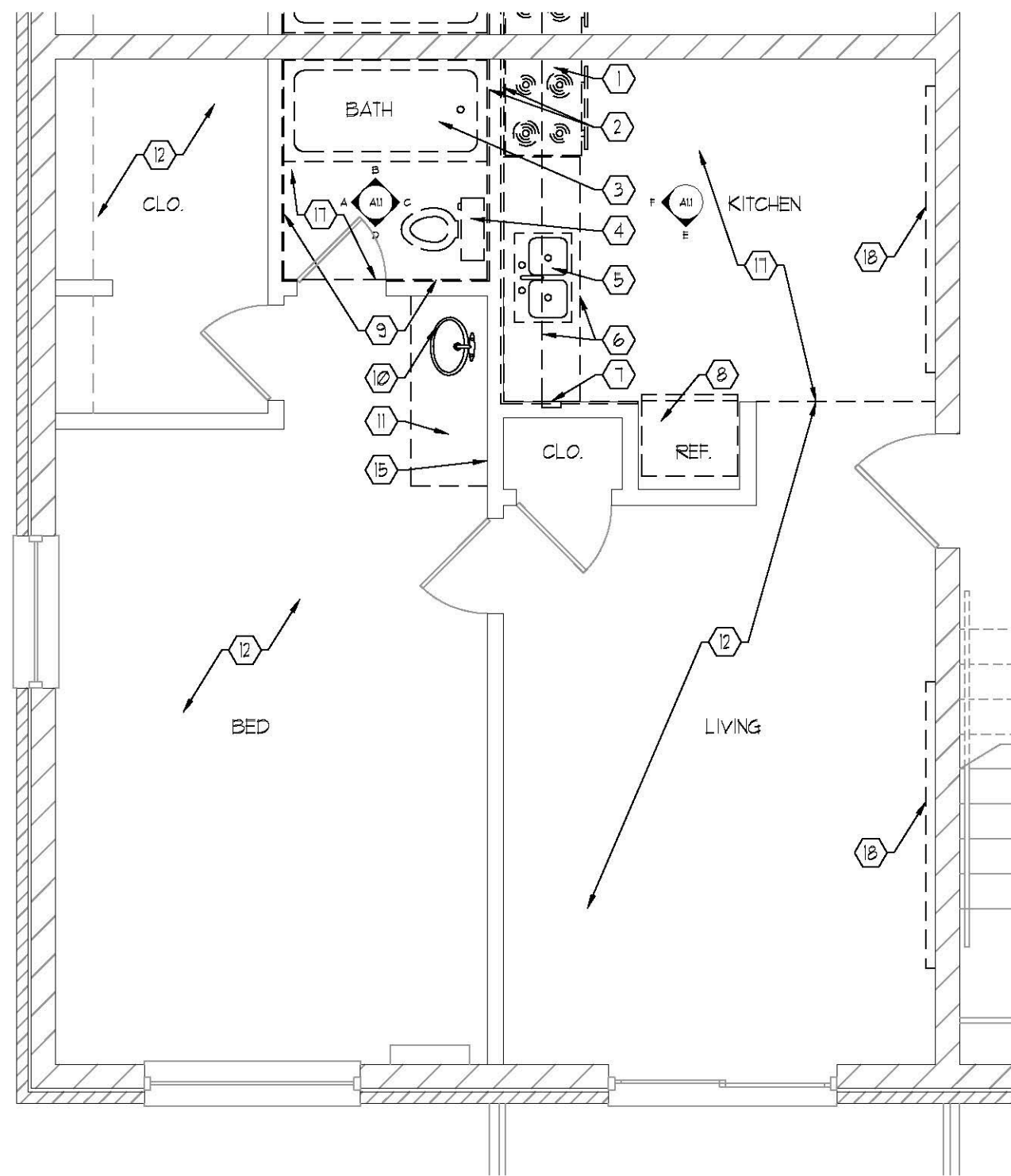
- A. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS. ANY CONDITIONS NOT IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO DEMOLITION, FABRICATION, OR INSTALLATION OF WORK.
- B. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT SPACES, EXCEPT AS AUTHORIZED IN WRITING BY THE PROJECT REPRESENTATIVE. PROVIDE NOT LESS THAN THREE WORKING DAYS NOTICE IN ADVANCE OF ANY REQUIRED SHUTDOWN.
- C. RESTORE TO ORIGINAL CONDITION ANY EXISTING ITEM TO REMAIN OR ADJACENT SURFACE THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION ACTIVITIES AND/OR ITEMS UNNECESSARILY DEMOLISHED. PERFORM THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- D. REMOVE FROM THE SITE ALL ITEMS INDICATED TO BE REMOVED (IN A MANNER TO MINIMIZE INCONVENIENCE TO ADJACENT OCCUPIED SPACES); FIRST RIGHT OF REFUSAL TO DPHA.
- E. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE MEANS, METHODS, SEQUENCE AND THE SAFETY OF PERSONS OCCUPYING THE UNITS DURING CONSTRUCTION. THIS INCLUDES ALL TEMPORARY CONSTRUCTION AND SAFETY PROVISIONS NECESSARY TO ACCOMMODATE JOB CONDITIONS, BUILDING CODES AND OTHER REGULATIONS.
- F. CONTRACTOR TO FIELD VERIFY AND COORDINATE SHUT OFF VALVES FOR SHOWERS AND OTHER PLUMBING FIXTURES TO MINIMIZE DISRUPTION OF SERVICES.
- G. PLUMBING CONTRACTOR TO PROVIDE CAMERA/ SCOPING SERVICE AND REPORT WITH DVD'S OF VIDEO INDICATING INTERIOR CONDITION OF EXISTING DRAIN PIPES.

CONSTRUCTION NOTES

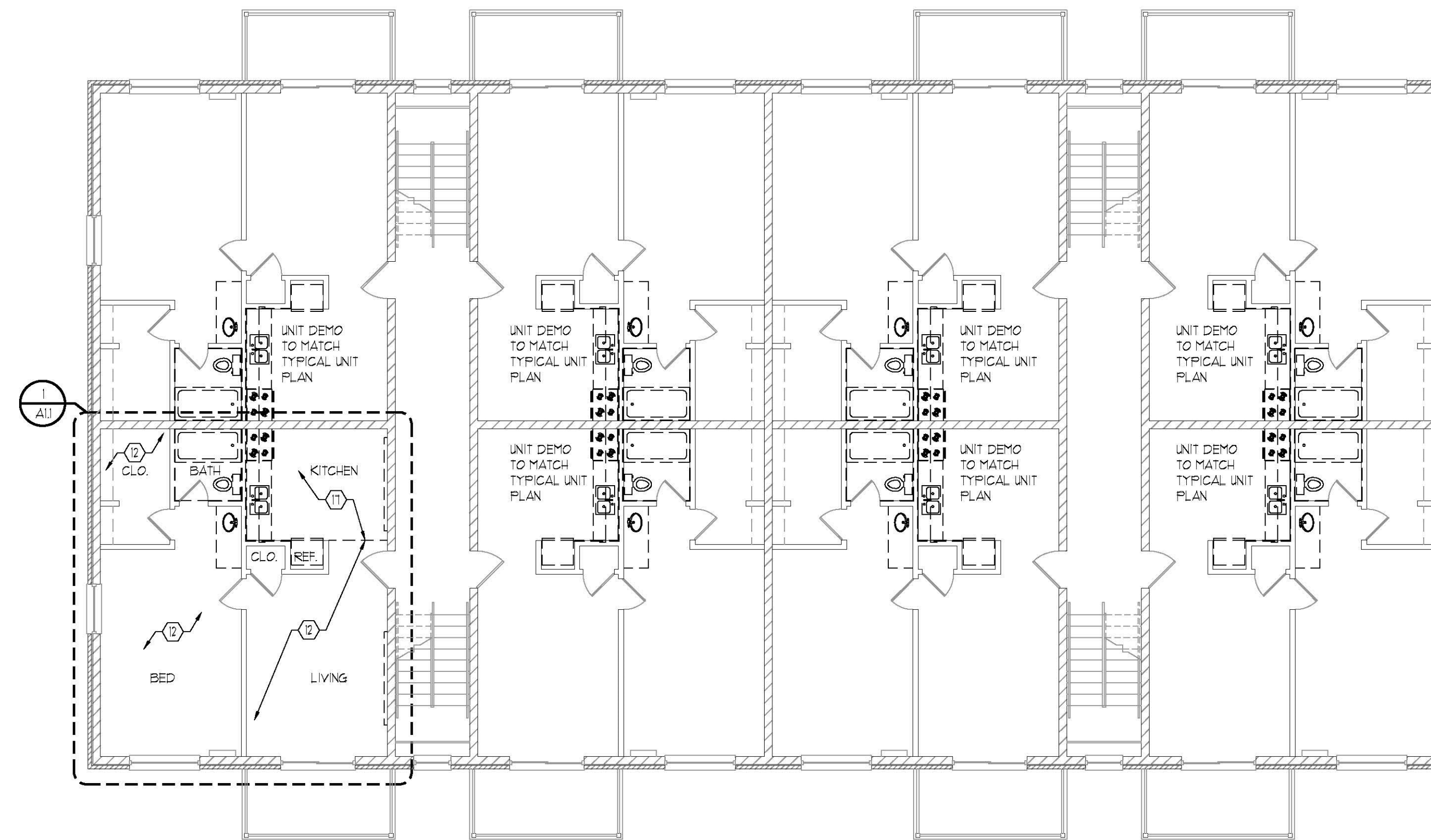
1. REMOVE EXISTING RANGE AND ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
2. REMOVE EXISTING PLASTER / DRYWALL AS NEEDED TO ACCESS PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT.
3. REMOVE ENTIRE EXISTING BATH TUB UNIT INCLUDING ALL PLUMBING AND ACCESSORIES INCLUDING SHOWER CURTAIN, SHOWER ROD, AND WALL TILE.
4. REMOVE ENTIRE EXISTING WATER CLOSET AND ASSOCIATED PLUMBING WHERE NOT IN GOOD WORKING ORDER AS WELL AS ANY BATHROOM ACCESSORIES SUCH AS TOILET PAPER HOLDERS AND SHOWER RODS.
5. REMOVE ENTIRE EXISTING KITCHEN SINK AND ALL ASSOCIATED PLUMBING NOT IN GOOD WORKING CONDITION OR AS NEEDED FOR INSTALLATION OF NEW KITCHEN SINK/ DRAIN/ PIPING.
6. REMOVE EXISTING KITCHEN BASE AND WALL CABINETS AND ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
7. REMOVE AND RELOCATE EXISTING ELECTRICAL PANEL AND WIRING TO LOCATION NOTED ON FLOOR PLAN I/A12.
8. REMOVE EXISTING REFRIGERATOR AND ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
9. REMOVE ALL EXISTING BATHROOM WALL COVERINGS INCLUDING TILE AND PLASTER/ DRYWALL AND REPAIR WALL FRAMING AS NEEDED WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
10. REMOVE EXISTING VANITY CASEWORK AND ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
11. REMOVE EXISTING LAVATORY AND ALL ASSOCIATED PLUMBING NOT IN GOOD WORKING CONDITION OR AS NEEDED FOR INSTALLATION OF NEW KITCHEN SINK/ DRAIN/ PIPING.
12. EXISTING FIXTURES AND FINISHES TO REMAIN / NO NEW WORK INTENDED IN THESE AREAS.
13. REMOVE EXISTING SOFFIT PLASTER / DRYWALL AS NEEDED TO ACCESS PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT AND REMOVE / REPAIR EXISTING BLOCKING AS NEEDED.
14. REMOVE EXISTING CEILING PLASTER / DRYWALL AS NEEDED TO ACCESS / REPLACE PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT AND REMOVE / REPAIR EXISTING FRAMING AS NEEDED.
15. REMOVE EXISTING MIRROR AND ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
16. REMOVE / REPLACE EXISTING SWITCH AND OUTLET AT NEW LOCATION NOTED ON 30/A12. SEE SHEET E10 FOR DETAILS.
17. REMOVE EXISTING FLOORING MATERIAL. SEE ASBESTOS REPORT.
18. REMOVE EXISTING BASE OF WALL, METAL FIN-TUBE COVER. PROTECT EXISTING HEATING PIPE WHILE NEW COVERS ARE INSTALLED.

**DEMO FLOOR PLANS/
INT. ELEVATIONS**

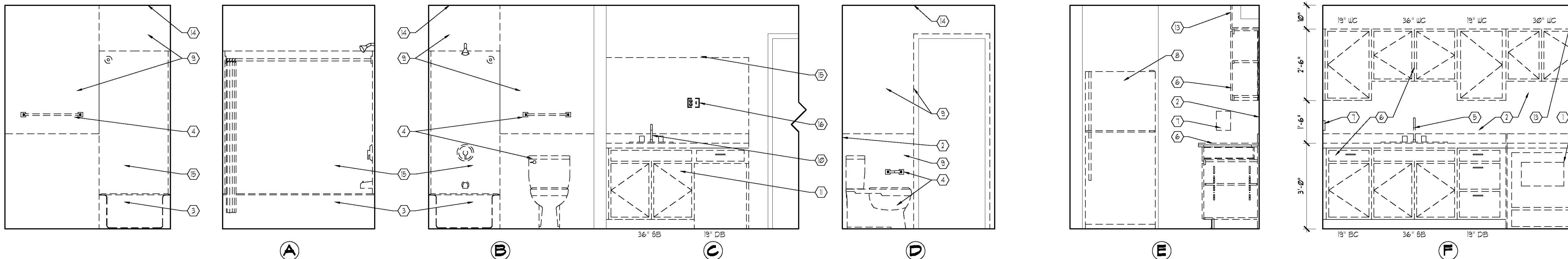
**GDPM
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KITCHEN & BATH
IMPROVEMENTS**



TYPICAL UNIT DEMO FLOOR PLAN 1
SCALE: 1/4" = 1'-0"



TYPICAL DEMO FLOOR PLAN 2
SCALE: 1/8" = 1'-0"



DEMOUNTING ELEVATIONS 3
SCALE: 1/2" = 1'-0"

SUMMARY OF WORK

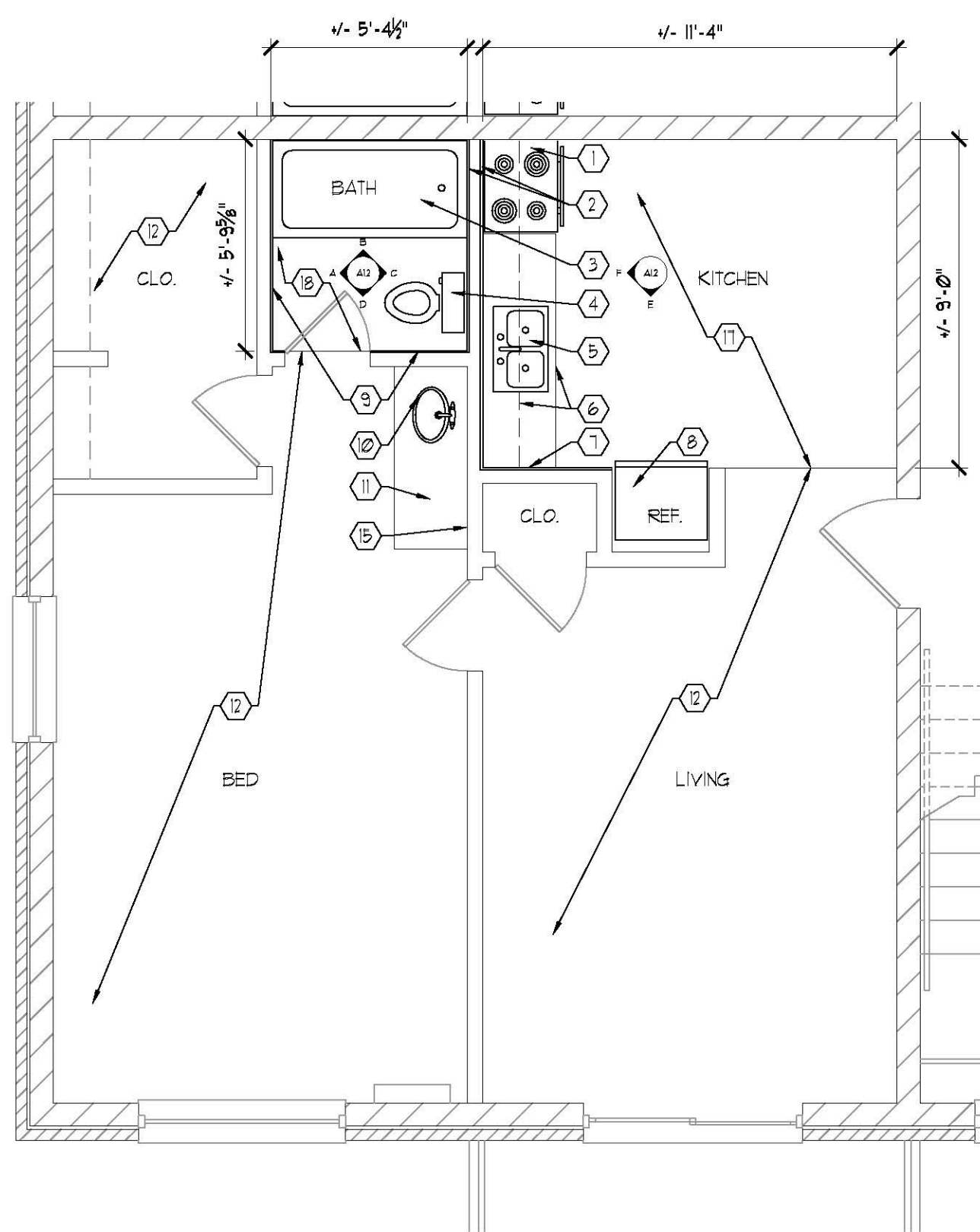
THE WORK CONSISTS OF REMOVING AND REPLACING THE EXISTING KITCHEN AND BATH FINISHES AND FIXTURES AND REPAIRING ANY PLUMBING LEAKS OR ELECTRICAL WIRING ASSOCIATED WITH THE KITCHENS AND BATHROOMS IN 2 APARTMENT UNITS AT THE SMITHVILLE-MONARCH APARTMENT COMPLEX. NEW KITCHEN AND BATHROOM PLUMBING FIXTURES AND EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS NOTED ON THE DRAWINGS. AN ASBESTOS SURVEY IS ATTACHED WITH THE CONTRACT DOCUMENTS AND IT WILL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE ABATEMENT OR ENCAPSULATION AND SAFETY PRECAUTIONS FOR AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH ALL LOCAL STATE AND FEDERAL REQUIREMENTS.

GENERAL NOTES

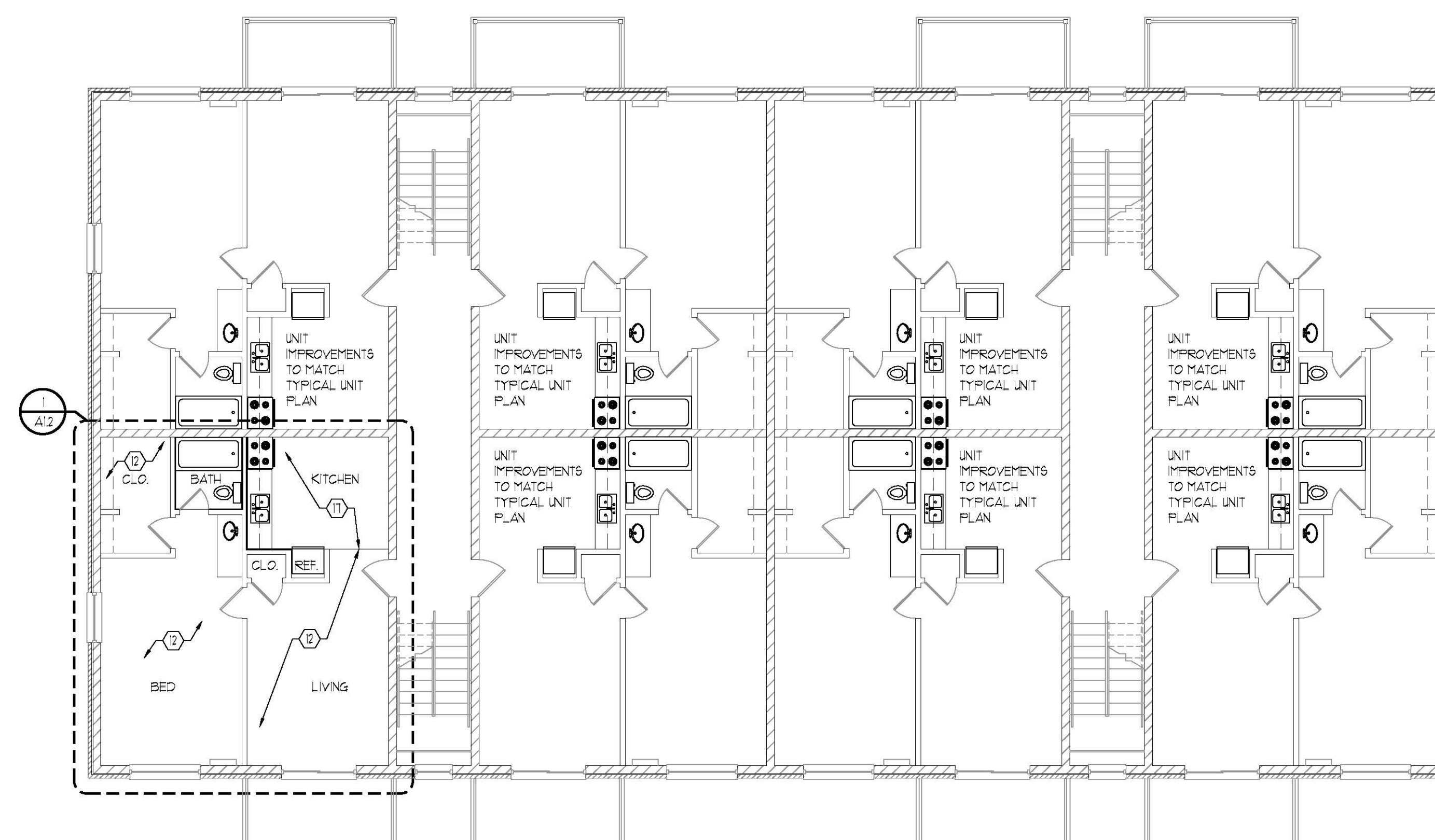
- A. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS. ANY CONDITIONS NOT IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO DEMOLITION, FABRICATION OR INSTALLATION OF WORK.
- B. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT SPACES, EXCEPT AS AUTHORIZED IN WRITING BY THE PROJECT REPRESENTATIVE. PROVIDE NOT LESS THAN THREE WORKING DAYS NOTICE IN ADVANCE OF ANY REQUIRED SHUTDOWN.
- C. RESTORE TO ORIGINAL CONDITION ANY EXISTING ITEM TO REMAIN OR ADJACENT SURFACE THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION ACTIVITIES AND/OR ITEMS UNNECESSARILY DEMOLISHED. PERFORM THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- D. REMOVE FROM THE SITE ALL ITEMS INDICATED TO BE REMOVED / IN A MANNER TO MINIMIZE INCONVENIENCE TO ADJACENT OCCUPIED SPACES). FIRST RIGHT OF REFUSAL TO D/M-A.
- E. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE MEANS, METHODS, SEQUENCE AND THE SAFETY OF PERSONS OCCUPYING THE UNITS DURING CONSTRUCTION. THIS INCLUDES ALL TEMPORARY CONSTRUCTION AND SAFETY PROVISIONS NECESSARY TO ACCOMMODATE JOB CONDITIONS, BUILDING CODES AND OTHER REGULATIONS.
- F. CONTRACTOR TO FIELD VERIFY AND COORDINATE SHUT OFF VALVES FOR SHOWERS AND OTHER PLUMBING FIXTURES TO MINIMIZE DISRUPTION OF SERVICES.

CONSTRUCTION NOTES

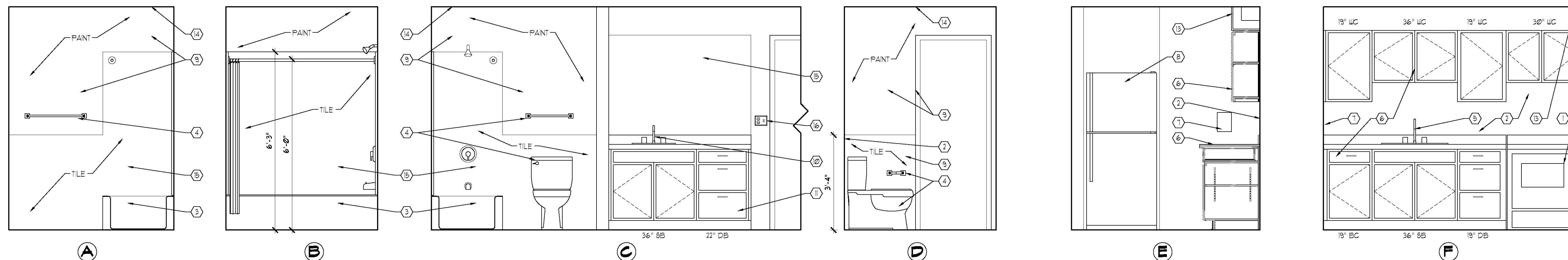
1. PROVIDE NEW RANGE AND REPAIR PLASTER/ DRYWALL WHERE WATER OR OTHER DAMAGE IS PRESENT.
2. PROVIDE NEW PLASTER / DRYWALL AS NEEDED TO ENCLOSE PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT.
3. PROVIDE NEW BATH TUB UNIT INCLUDING ALL PLUMBING AND ACCESSORIES INCLUDING SHOWER CURTAIN, SHOWER ROD ETC.
4. PROVIDE NEW WATER CLOSET AND ASSOCIATED PLUMBING AS WELL AS ANY BATHROOM ACCESSORIES SUCH AS TOILET PAPER HOLDERS AND SHOWER RODS.
5. PROVIDE NEW KITCHEN SINK AND ALL ASSOCIATED PLUMBING AS NEEDED FOR INSTALLATION OF NEW KITCHEN SINK/ DRAIN PIPING.
6. PROVIDE NEW EXTREME USE WOOD KITCHEN BASE AND WALL CABINETS AND PLASTIC LAMINATE COUNTERTOPS AND SPLASH AS WELL AS ANY PLASTER/ DRYWALL WHERE WATER OR OTHER DAMAGE IS PRESENT.
7. RELOCATE EXISTING ELECTRICAL PANEL AND WIRING TO LOCATION NOTED ON FLOOR PLAN VIAL2. SEE ELECTRICAL DRAWINGS SHEET E10 FOR ADDITIONAL INFO.
8. PROVIDE NEW 30" WIDE REFRIGERATOR AND REPAIR ANY PLASTER/ DRYWALL WHERE WATER OR OTHER DAMAGE IS PRESENT.
9. PROVIDE NEW BATHROOM WALL COVERINGS INCLUDING TILE AND PLASTER/ DRYWALL AND REPAIR WALL FRAMING AS NEEDED WHERE WATER OR OTHER DAMAGE IS PRESENT.
10. PROVIDE NEW PLASTIC LAMINATE BATHROOM CASEWORK AND REPAIR ANY PLASTER/ DRYWALL WHERE WATER OR OTHER DAMAGE IS PRESENT.
11. PROVIDE NEW LAVATORY AND ALL ASSOCIATED PLUMBING AS NEEDED FOR INSTALLATION OF NEW LAVATORY SINK/ DRAIN PIPING.
12. EXISTING FIXTURES AND FINISHES TO REMAIN / NO NEW WORK INTENDED IN THESE AREAS.
13. PROVIDE NEW SOFFIT PLASTER / DRYWALL AS NEEDED TO ENCLOSE PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT AND REPAIR EXISTING BLOCKING AS NEEDED.
14. PROVIDE NEW CEILING PLASTER / DRYWALL AS NEEDED TO ENCLOSE PLUMBING / NEW ELECTRICAL FIXTURES OR WHERE WATER DAMAGE IS PRESENT AND REPAIR EXISTING FRAMING AS NEEDED.
15. PROVIDE NEW MIRROR AND REPAIR ANY PLASTER/ DRYWALL WHERE WATER DAMAGE OR OTHER DAMAGE IS PRESENT.
16. PROVIDE NEW RELOCATED SWITCH AND GFI OUTLET PER SPECS SEE SHEET E10 FOR DETAILS.
17. INSTALL NEW VCT FLOORING. EXISTING WOOD BASE TO BE REUSED UNLESS REPLACEMENT IS NECESSARY. NEW WOOD BASE TO MATCH EXISTING RANCH STYLE W/ BASE SHOE MOLDING.
18. INSTALL NEW VCT FLOORING W/ TILE BASE.



TYPICAL UNIT NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



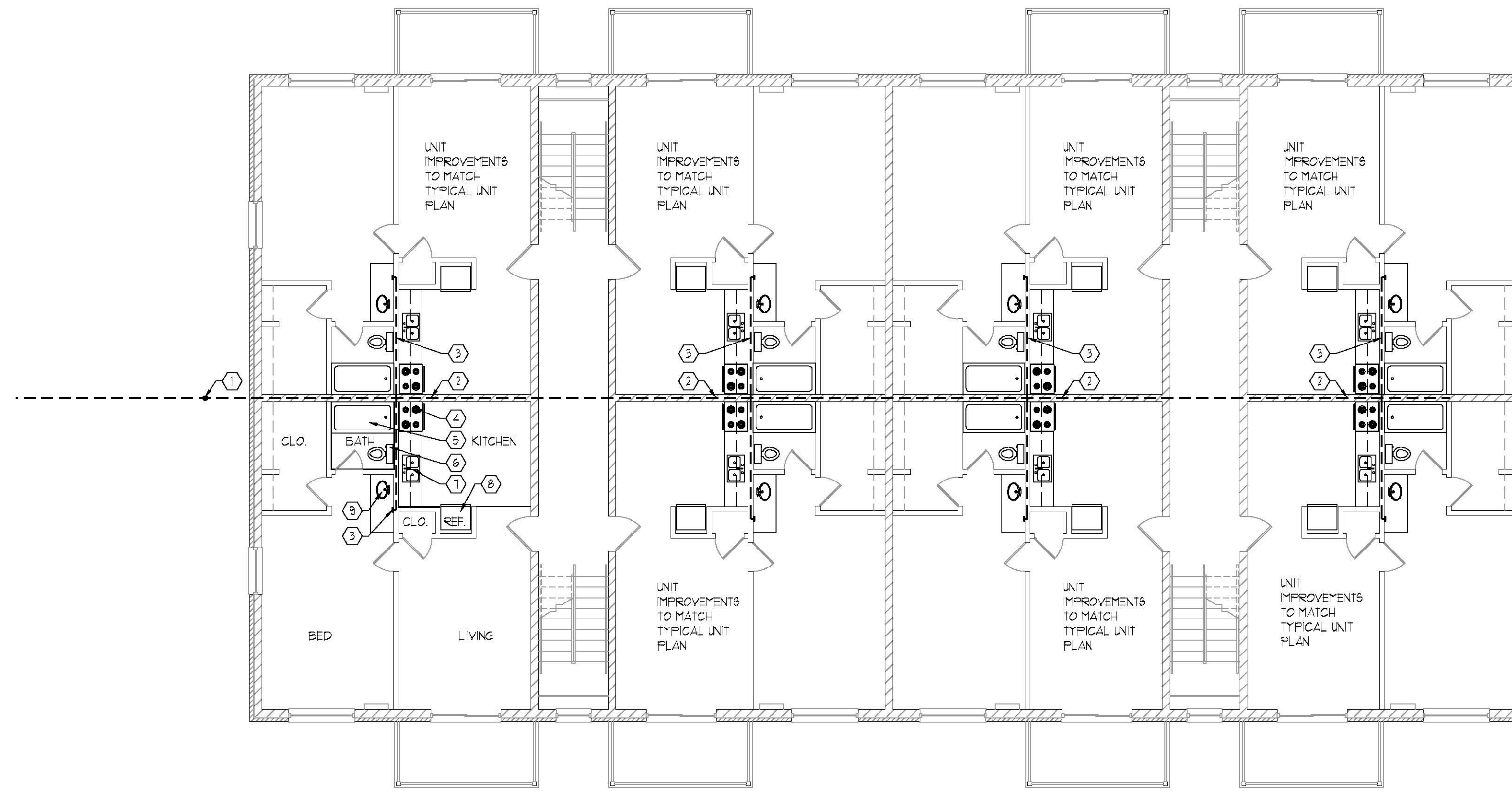
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



NEW INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

NEW FLOOR PLANS/ INT. ELEVATIONS

GDPM SMITHVILLE-MONARCH KITCHEN & BATH IMPROVEMENTS



TYPICAL BUILDING PLUMBING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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- B. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT SPACES, EXCEPT AS AUTHORIZED IN WRITING BY THE PROJECT REPRESENTATIVE. PROVIDE NOT LESS THAN THREE WORKING DAYS NOTICE IN ADVANCE OF ANY REQUIRED SHUTDOWN.
- C. RESTORE TO ORIGINAL CONDITION ANY EXISTING ITEM TO REMAIN OR ADJACENT SURFACE THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION ACTIVITIES AND/OR ITEMS UNNECESSARILY DEMOLISHED. PERFORM THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- D. REMOVE FROM THE SITE ALL ITEMS INDICATED TO BE REMOVED (IN A MANNER TO MINIMIZE INCONVENIENCE TO ADJACENT OCCUPIED SPACES). FIRST RIGHT OF REFUSAL TO DRY-PA.
- E. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE MEANS, METHODS, SEQUENCE AND THE SAFETY OF PERSONS OCCUPYING THE UNITS DURING CONSTRUCTION. THIS INCLUDES ALL TEMPORARY CONSTRUCTION AND SAFETY PROVISIONS NECESSARY TO ACCOMMODATE JOB CONDITIONS, BUILDING CODES AND OTHER REGULATIONS.
- F. CONTRACTOR TO FIELD VERIFY AND COORDINATE SHUT OFF VALVES FOR SHOWERS AND OTHER PLUMBING FIXTURES TO MINIMIZE DISRUPTION OF SERVICES.
- G. PROVIDE NEW SHUT OFF VALVES AT ALL NEW PLUMBING FIXTURES.

PLUMBING NOTES

1. EXISTING EXTERIOR CLEAN OUT.
2. CLEAN EXISTING SANITARY LINE THROUGH STREET MAIN AND SCOPE TO VERIFY CONDITION.
3. PROVIDE NEW CLEAN OUT W/ COVER PLATE FOR EACH INDIVIDUAL UNIT. FINAL LOCATION TO BE DETERMINED IN FIELD.
4. PROVIDE NEW RANGE PER SPECIFICATIONS.
5. PROVIDE NEW BATH TUB AND ASSOCIATED FIXTURES AND ACCESSORIES PER FIXTURE SCHEDULE.
6. PROVIDE NEW WATER CLOSET AND ASSOCIATED FIXTURES AND ACCESSORIES PER FIXTURE SCHEDULE.
7. PROVIDE NEW KITCHEN SINK AND ASSOCIATED FIXTURES AND ACCESSORIES PER FIXTURE SCHEDULE.
8. PROVIDE NEW REFRIGERATOR PER SPECIFICATIONS.
9. PROVIDE NEW LAVATORY AND ASSOCIATED FIXTURES AND ACCESSORIES PER FIXTURE SCHEDULE.
10. RE-PIPE WATER RISERS AS NEEDED.
11. INSTALL NEW FIXTURES AND RECONNECT TO EXISTING ROUGH-INS.
12. PROVIDE VANGUARD MODEL #UB-18 ACCESS PANEL ON WALL FOR MAINTENANCE.
13. MAINTAIN EXISTING SANITARY VENT THROUGH ROOF.
14. REMOVE EXISTING FIXTURE ROUGH-INS TO BE CONCEALED WITHIN WALL / FLOOR AS REQUIRED.

PLUMBING PLAN & SCHEDULE

GDPM
SMITHVILLE-MONARCH
KITCHEN & BATH
IMPROVEMENTS

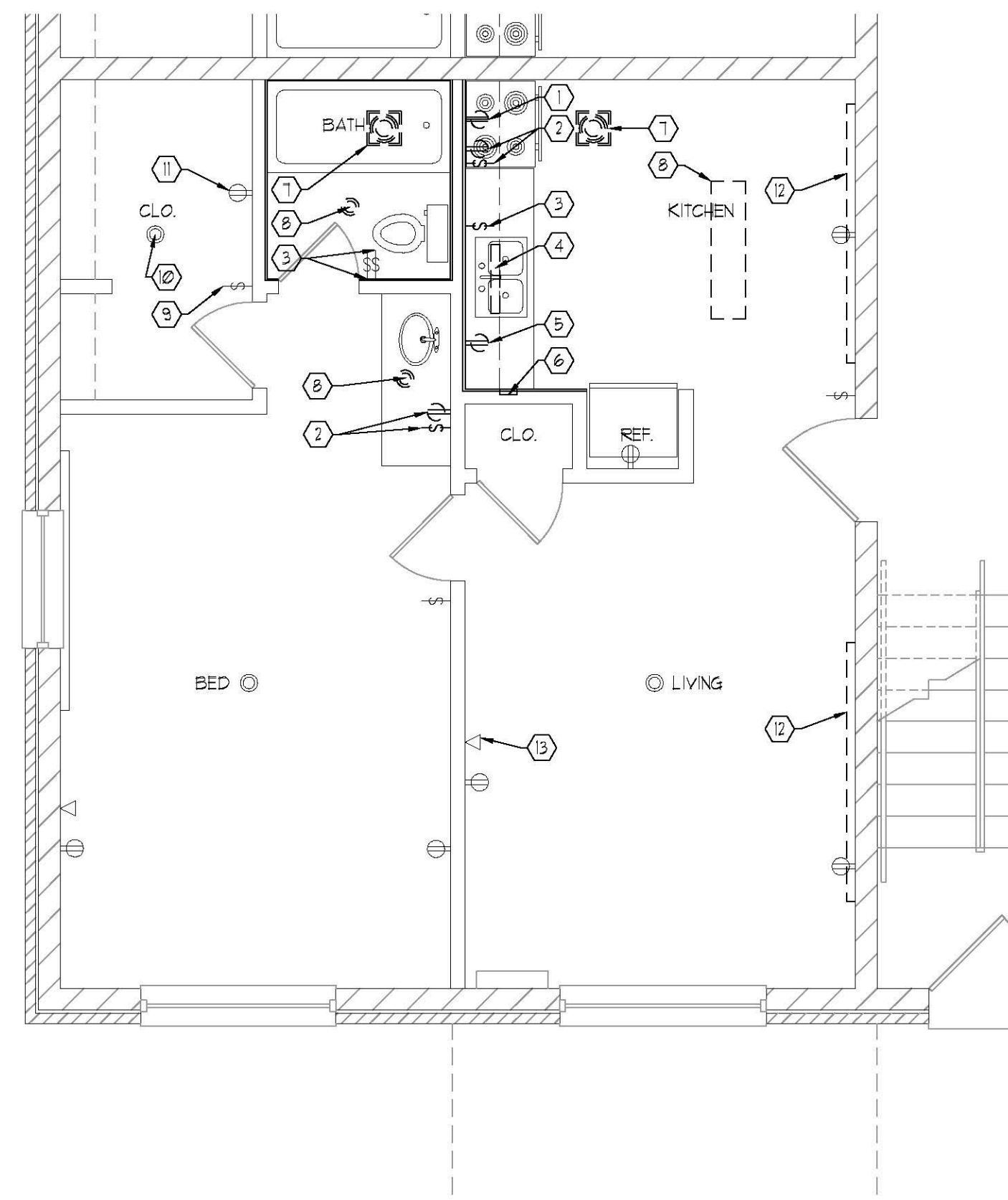
FIXTURE SCHEDULE

BASIS OF DESIGN: CATALOG NUMBERS INDICATED ARE THOSE OF THE FIRST NAMED MANUFACTURER IN EACH CATEGORY LISTED BELOW - ADDITIONAL MANUFACTURERS ARE LISTED IN PARENTHESIS.

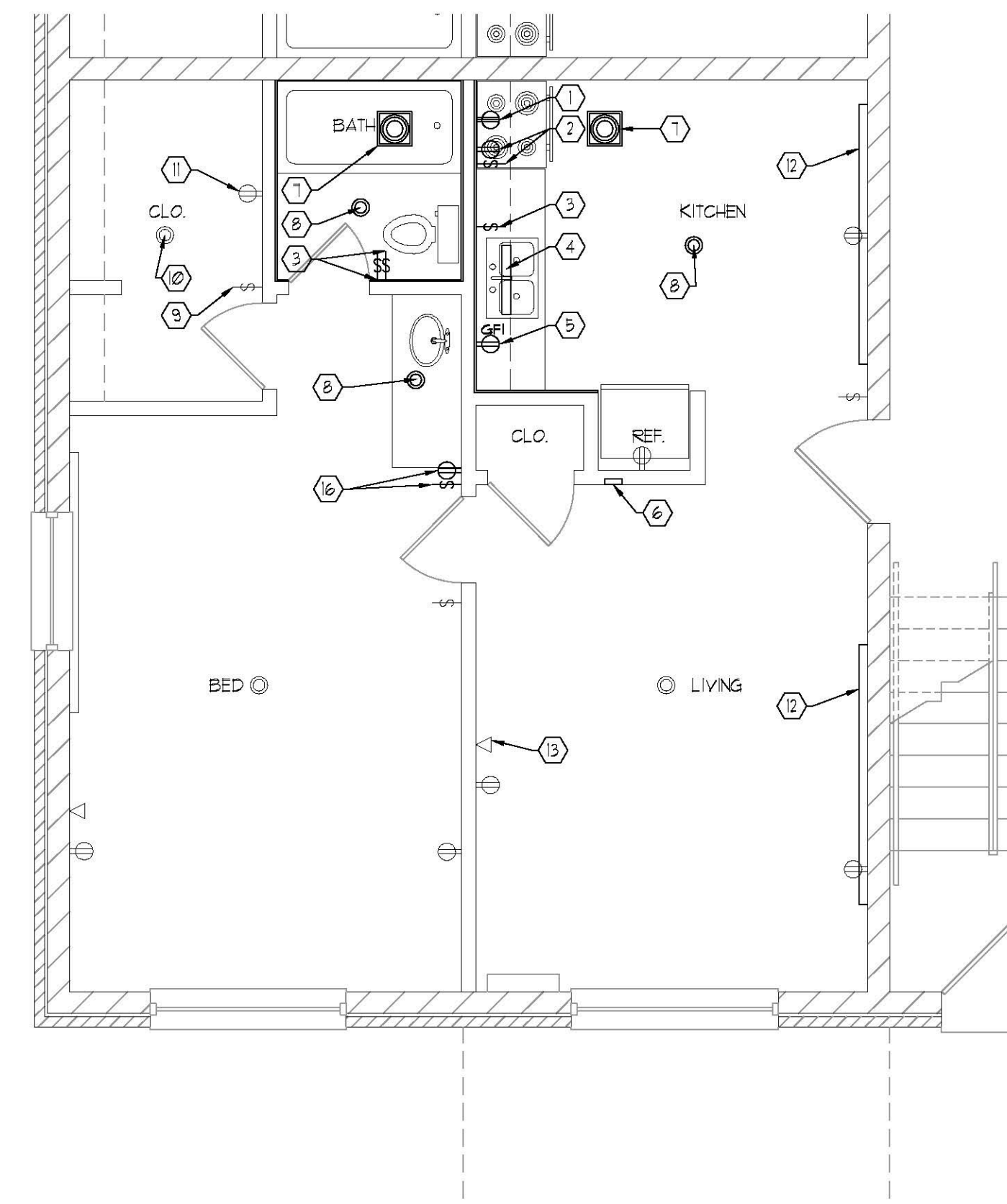
A. WATER MANAGEMENT INC. (CRANE, ELJER)	E. MOEN (SPEAKMAN, WATER MANAGEMENT)	J. WATTS	N.
B. BRASS CRAFT (ENG. BRASS CO., MCGUIRE)	F. MCGUIRE (ENGINEERED BRASS CO.)	K. ELJER (AMERICAN STD., KOHLER)	O.
C. BEWIS (BENEXE, CHURCH)	G. ELKAY (JUST OR MOEN)	L. WOLVERINE BRASS	P.
D. AMERICAN STANDARD (CRANE, ELJER)	H. SWANSTONE		Q.

REFERENCE	ABBREVIATIONS	MOUNTING HEIGHT	SUPPLY			WASTE & VENT			FIXTURE	SUPPLY TRIM	SUPPLY/STOP	WASTE TRIM	TRAP/FIX. DR.	MISC.	CARRIER	SEE FIXTURE SCHED. NOTES												
			C.W.	H.W.	T.W.	FIX. OUTLET	TRAP	FIX. DRAIN									WASTE-MIN.	VENT-MIN.	INDIRECT	AIR GAP	AIR BREAK	MFR.	CAT. NOS.	MFR.	CAT. NOS.	MFR.	CAT. NOS.	MFR.
WC1	WATER CLOSET/ FS/ VC/PA	15"RIM	1/2"	-	-	2" INT.	4"	4"	2"	-	-	-	-	A	WM342-381	A	INT.	B	KTOR19C	-	-	A	INT.	C	100TT	-	-	1,2,3
WC2	WATER CLOSET/ FS/ VC/ PA/ ADA	17"RIM	1/2"	1/2"	-	2" INT.	4"	4"	2"	-	-	-	-	A	WM377-381	A	INT.	B	KTOR19C	-	-	A	INT.	C	1100TT	-	-	1,2,3
LV1	LAVATORY/ WH/ VC/ SLF	34"RIM	1/2"	1/2"	-	1 1/4" INT.	1 1/4"	1 1/4"	1 1/2"	1 1/2"	-	-	-	D	0321.026	E	8465	B	KTOR19C	E	INT.	F	8902CF	-	-	-	1,2,3	
UF1	UTILITY FIXTURE/ WASHER BOX/ REC/ PL/ ELT	SEE NOTE	1/2"	1/2"	-	2"	2"	2"	2"	1 1/2"	-	-	-	J	A2-WB	J	INT.	-	ROUGH	-	ROUGH	-	ROUGH	-	-	-	5,6,7	
BT1	BATH TUB-SHOWER/ FS/ ECI/SLF/LEFT HAND	SEE NOTE	1/2"	1/2"	-	1 1/2" INT.	1 1/2"	1 1/2"	1 1/2"	1 1/2"	-	-	-	K	012-1520	E	8389	-	ROUGH	L	56429	F	8089R	H	SS-3072	-	-	1,4,8,12
BT2	BATH TUB-SHOWER/ FS/ ECI/ SLF/ RIGHT HAND	SEE NOTE	1/2"	1/2"	-	1 1/2" INT.	1 1/2"	1 1/2"	1 1/2"	1 1/2"	-	-	-	K	012-1525	E	8389	-	ROUGH	L	56429	F	8089R	H	SS-3072	-	-	1,4,8,12
SK1	KITCHEN SINK/ CTP/ SS/ SLF	---	1/2"	1/2"	-	1 1/2" INT.	1 1/2"	1 1/2"	1 1/2"	1 1/2"	-	-	-	G	LRAD-3322	E	8712	B	KTOR19C	G	LKKT35(2)	F	8912CF	F	111C16C17	-	-	2,3,10
SH1	SHOWER/ FS/ SLF/ ADA/ LEFT HAND/ SEAT	---	1/2"	1/2"	-	1 1/2" INT.	1 1/2"	1 1/2"	1 1/2"	1 1/2"	-	-	-	H	BF-3060L	E	8346	-	ROUGH	H	INT.	-	ROUGH	H	SS-3072	-	-	1,8,11,13
SH2	SHOWER/ FS/ SLF/ ADA/ RIGHT HAND/ SEAT	---	1/2"	1/2"	-	1 1/2" INT.	1 1/2"	1 1/2"	1 1/2"	1 1/2"	-	-	-	H	BF-3060R	E	8346	-	ROUGH	H	INT.	F	8912CF	H	SS-3072	-	-	1,8,11,13
CC1	CUSHION CHAMBER	---	3/4"	-	-	-	-	-	-	-	-	-	-	J	0-5H	-	-	-	-	-	-	-	-	-	-	-	9	

- FIXTURE SCHEDULE NOTES :
1. COLOR SHALL BE WHITE.
 2. PROVIDE CHROME PLATED BRASS NIPPLES AND ESCUTCHEONS AT WALL.
 3. FURNISH WITH QUARTER TURN BALL VALVE ANGLE STOPS.
 4. REFER TO SPEC. SECTION 012300 "ALTERNATES". BATH TUB AND TRIM ARE PART OF BASE BID.
 5. 120 VOLT POWER REQUIRED BY E.C.
 6. LOCATE POWER SOURCE WITHIN 3FT.
 7. SECURE TO WALL ABOVE EQUIPMENT.
 8. MOUNT SHOWER HEAD @78" AFF AND TUB SPOUT @ 18" AFF± WHERE PROVIDED.
 9. PROVIDE FDI RATED, UNIT. INSTALL AT "U"1".
 10. 3 HOLE PUNCH DECK.
 11. REFER TO SPEC. SECTION 012300 "ALTERNATES". RECEPTOR, RAMP AND TRIM ARE PART OF BASE BID. INCLUDE (1) BF-1260 ADA RAMP.
 12. COORDINATE SURROUND INSTALLATION WITH G.C. TO FIT 30"x60" TUB.
 13. COORDINATE SURROUND INSTALLATION WITH G.C. TO FIT 30"x60" SHOWER.



TYPICAL UNIT DEMO ELECTRICAL PLAN ①
SCALE: 1/4" = 1'-0"



TYPICAL UNIT NEW ELECTRICAL PLAN ②
SCALE: 1/4" = 1'-0"

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- B. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT SPACES, EXCEPT AS AUTHORIZED IN WRITING BY THE PROJECT REPRESENTATIVE. PROVIDE NOT LESS THAN THREE WORKING DAYS NOTICE IN ADVANCE OF ANY REQUIRED SHUTDOWN.
- C. RESTORE TO ORIGINAL CONDITION ANY EXISTING ITEM TO REMAIN OR ADJACENT SURFACE THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION ACTIVITIES AND/OR ITEMS UNNECESSARILY DEMOLISHED. PERFORM THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- D. REMOVE FROM THE SITE ALL ITEMS INDICATED TO BE REMOVED (IN A MANNER TO MINIMIZE INCONVENIENCE TO ADJACENT OCCUPIED SPACES). FIRST RIGHT OF REFUSAL TO DHA.
- E. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE MEANS, METHODS, SEQUENCE AND THE SAFETY OF PERSONS OCCUPYING THE UNITS DURING CONSTRUCTION. THIS INCLUDES ALL TEMPORARY CONSTRUCTION AND SAFETY PROVISIONS NECESSARY TO ACCOMMODATE JOB CONDITIONS, BUILDING CODES AND OTHER REGULATIONS.
- F. CONTRACTOR TO FIELD VERIFY AND COORDINATE SHUT OFF VALVES FOR SHOWERS AND OTHER PLUMBING FIXTURES TO MINIMIZE DISRUPTION OF SERVICES.
- G. FOR ALL GFI OUTLETS PROVIDE PROPER WIRING.

ELECTRICAL NOTES

1. REMOVE / REPLACE EXISTING RANGE OUTLET.
2. REMOVE / REPLACE EXISTING SWITCH / GFI POWER OUTLET.
3. REMOVE / REPLACE EXISTING ELECTRICAL SWITCH.
4. REMOVE / REPLACE EXISTING UNDER COUNTER LIGHT.
5. REMOVE / REPLACE EXISTING POWER OUTLET WITH GFI OUTLET PER SPECS.
6. PROVIDE NEW JUNCTION BOX AT EXISTING ELECTRIC PANEL FOR CONNECTION TO NEW ELECTRIC PANEL AT LOCATION SHOWN ON DRAWINGS. ALL WIRING AND ELECTRIC PANEL TO MEET CURRENT NEC REQUIREMENTS.
7. REMOVE / REPLACE EXISTING EXHAUST FAN WITH NEW EXHAUST FAN PER SPECS.
8. REMOVE / REPLACE EXISTING LIGHT FIXTURE WITH NEW LIGHT FIXTURE PER SPECS.
9. EXISTING SWITCH TO REMAIN (TYP.).
10. EXISTING LIGHT FIXTURE TO REMAIN (TYP.).
11. EXISTING OUTLET TO REMAIN (TYP.).
12. REMOVE EXISTING BASE OF WALL, METAL FIN-TUBE COVER PROTECT EXISTING HEATING PIPE WHILE NEW COVERS ARE INSTALLED.
13. EXISTING DATA OUTLET TO REMAIN (TYP.).
14. PROVIDE NEW CEILING PLASTER / DRYWALL AS NEEDED TO ENCLOSE PLUMBING / ELECTRICAL OR WHERE WATER DAMAGE IS PRESENT AND REPAIR EXISTING FRAMING AS NEEDED.
15. PROVIDE NEW MIRROR AND REPAIR ANY PLASTER/ DRYWALL WHERE WATER OR OTHER DAMAGE IS PRESENT.
16. RELOCATE EXISTING SWITCH / OUTLET AS TO EXISTING DOOR AS POSSIBLE.